

	<u>MAXIMUM ALLOWED</u>
BUILDING HEIGHT (FT.)	35
LOT COVERAGE (%)	35

SHEET #1	COVER SHEET
SHEET #2	SUBDIVISION PLAT
SHEET #3	SITE PLAN
SHEET #4	SUBDIVISION PLAN
SHEET #5	SUBDIVISION PLAN
SHEET #6	SUBDIVISION PLAN
SHEET #7	TOWN ACCESS ROAD PLAN
SHEET #8	ROAD A PROFILE
SHEET #9	ROAD A PROFILE
SHEET #10	EROSION CONTROL PLAN
SHEET #11	EROSION CONTROL PLAN
SHEET #12	TOWN DETENTION POND DETAILS
SHEET #13	VILLAGE DETENTION POND DETAILS
SHEET #14	BIORETENTION AREA DETAILS
SHEET #15	EROSION CONTROL DETAILS
SHEET #16	DETAILS

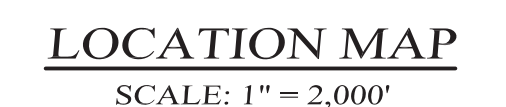
	EXCLUDING PROPOSED GRADING & STORMWATER AREAS	INCLUDING PROPOSED GRADING & STORMWATER AREAS
TOTAL AREA OF PARCEL	20.3 AC.	20.3 AC.
OPEN SPACE AREA "A"	0.83 AC.	0.86 AC.
OPEN SPACE AREA "B"	8.99 AC.	10.69 AC.
TOTAL CONSERVED AREA	9.82 AC.	11.55 AC.
% CONSERVED LAND	48% ±	53% ±

ROBERT SILBER  
VILLAGE VIEW ESTATES, LLC  
4 FOSSE COURT  
AIRMONT, N.Y.

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COVER  
SHEET

KIRK ROTHER, P.E.		N.Y.S. LIC. NO. 079053		DATE
WITH THE SEAL OF 7209, SUBDIVISION OF THIS PLAN WHICH ENGINEER SHALL	D.O.T. SHEET #	D.E.C.. SHEET #	O.C.H.D. SHEET #	SHEET #
	N.A.	N.A.	N.A.	
	CAD # 04170	PROJECT #	SCALE	
	CLUSKCTCH222	04170.1	AS SHOWN	1 OF 16



1. VILLAGE OF WARWICK TAX MAP DESIGNATION: SEC. 201, BLK. 1, LOTS 1.1, 1.2, 1.3 & 2.
2. TOTAL AREA OF PARCELS IN VILLAGE: 20.36 ACRES.
3. ENTIRE PARCEL IS LOCATED IN THE R-1 ZONING DISTRICT.
4. TOTAL NUMBER OF RESIDENTIAL LOTS WITHIN THIS SUBDIVISION : 28
5. PARCEL IS LOCATED WITHIN THE WARWICK VILLAGE CENTRAL SCHOOL DISTRICT.
6. PROPOSED SUBDIVISION TO BE SERVED BY VILLAGE OF WARWICK PUBLIC WATER & SEWER.
7. BOUNDARY & TOPOGRAPHY INFORMATION SHOWN TAKEN FROM DRAWING ENTITLED: "SURVEY OF PROPERTY FOR RALPH FREDDOLINO"  
PREPARED BY JOHN MACGLON, P.L.S. ON 08/28/1993.
8. A.C.E. WETLANDS AS FLAGGED & VERIFIED BY: PETE TERGENSEN  
IN AUGUST 2017.
9. PLAN APPROVAL IS LIMITED TO 5 YEARS. TIME EXTENSIONS FOR PLAN APPROVAL MAY BE GRANTED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH BASED UPON DEVELOPMENT FACTS AND THE REALTY SUBDIVISION REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION
10. THE APPROVED PLANS MUST BE FILED WITH THE ORANGE COUNTY CLERK'S OFFICE PRIOR TO OFFERING LOTS FOR SALE AND WITHIN 60 DAYS OF THE LAST APPROVAL OF THE FINAL PLANS.
11. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
12. THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER) SHALL NOT BE CHANGED.

EXISTING PROPERTY LINE \_\_\_\_\_

PROPOSED PROPERTY LINE \_\_\_\_\_

PROPOSED EASEMENT LINE \_\_\_\_\_

PROPOSED BUILDING SETBACK \_\_\_\_\_

EXISTING STONEWALL ○○○○○○○○○○○○○○○○○○○○○○○○○○○○○○○

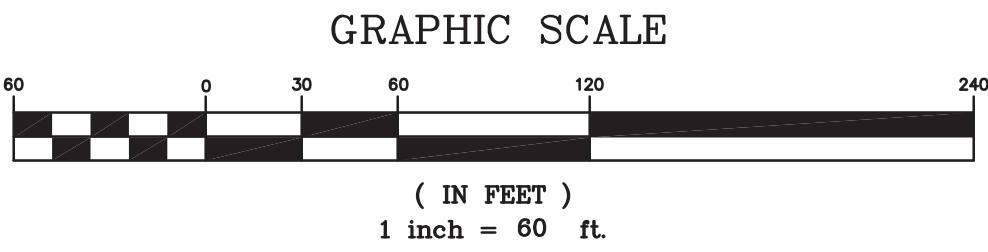
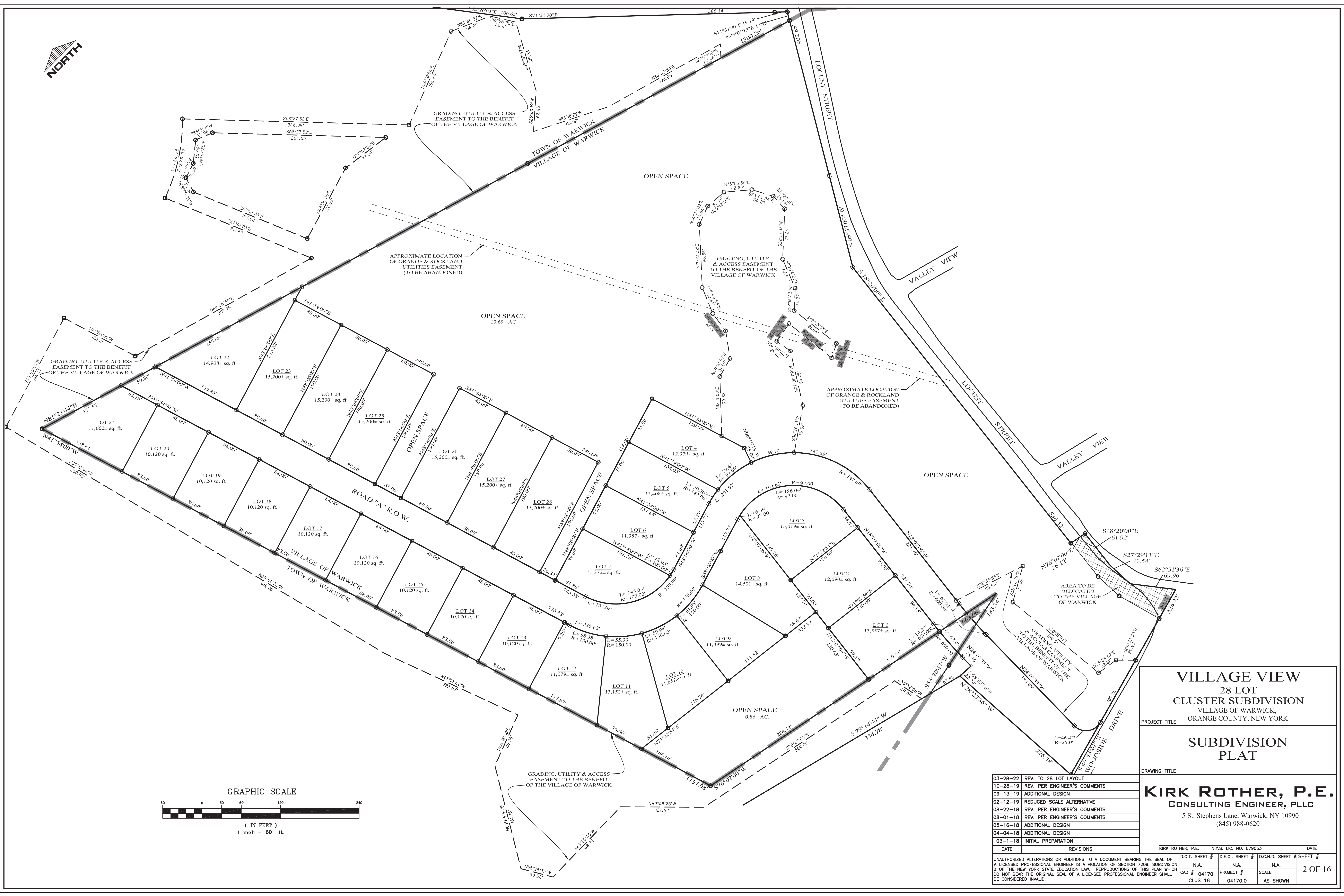
PROPOSED EDGE OF PAVEMENT \_\_\_\_\_

EXISTING EDGE OF PAVEMENT \_\_\_\_\_

EXISTING WETLAND LIMIT \_\_\_\_\_

EXISTING STREAM \_\_\_\_\_





VILLAGE VIEW  
28 LOT  
CLUSTER SUBDIVISION  
VILLAGE OF WARWICK,  
ORANGE COUNTY, NEW YORK

SUBDIVISION  
PLAT

03-28-22

REV. TO 28 LOT LAYOUT

10-28-19

REV. PER ENGINEER'S COMMENTS

09-13-19

ADDITIONAL DESIGN

02-12-19

REDUCED SCALE ALTERNATIVE

08-22-18

REV. PER ENGINEER'S COMMENTS

08-01-18

REV. PER ENGINEER'S COMMENTS

05-16-18

ADDITIONAL DESIGN

04-04-18

ADDITIONAL DESIGN

03-1-18

INITIAL PREPARATION

DATE

REVISIONS

KIRK ROTHER, P.E.  
CONSULTING ENGINEER, PLLC  
5 St. Stephens Lane, Warwick, NY 10990  
(845) 988-0620

DATE

REVISIONS

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D.O.T. SHEET #

N.A.

D.E.C. SHEET #

N.A.

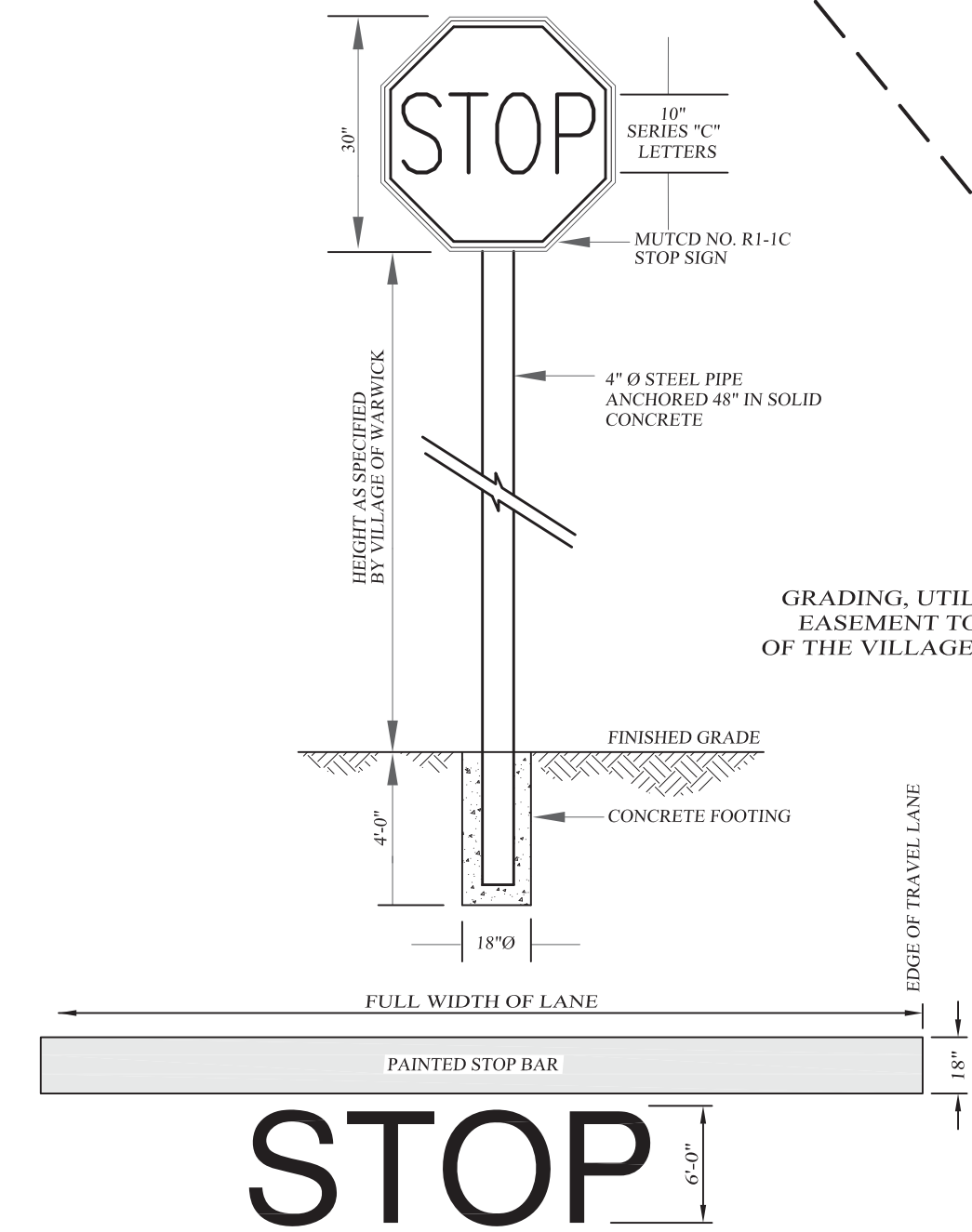
O.C.H.D. SHEET #

N.A.

SHEET #

2 OF 16





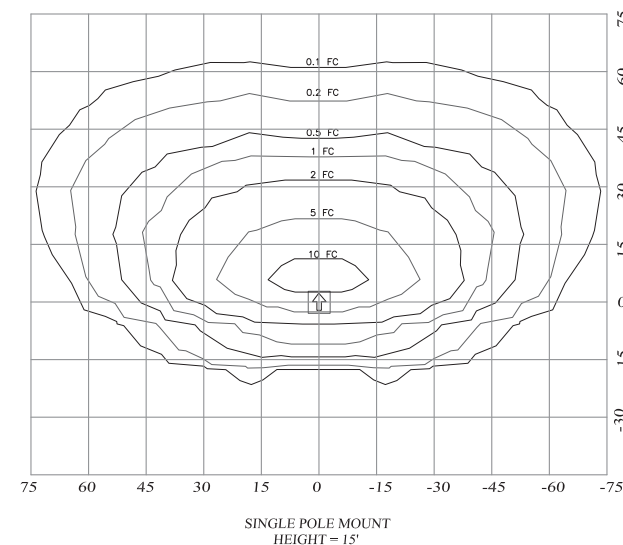
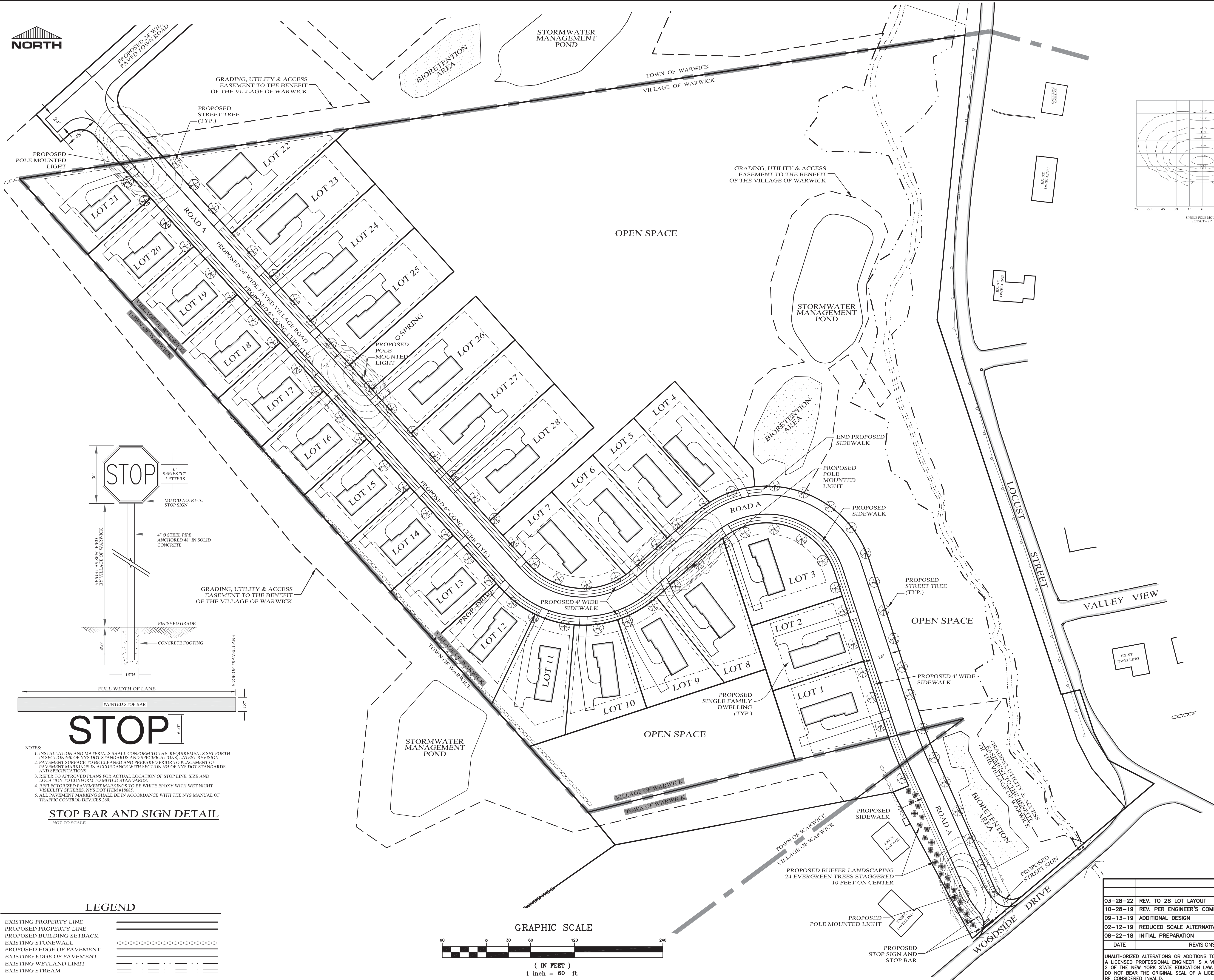
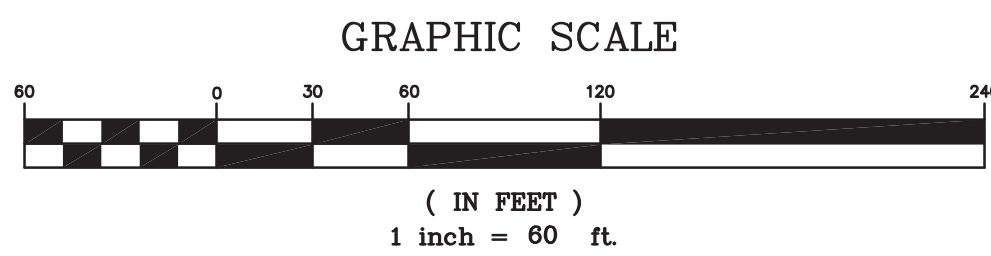
- NOTES:
1. INSTALLATION AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN SECTION 680 OF NYS DOT STANDARDS AND SPECIFICATIONS, LATEST EDITION.
  2. PAVEMENT SURFACE TO BE CLEANED AND PREPARED PRIOR TO PLACEMENT OF PAVEMENT MARKINGS IN ACCORDANCE WITH SECTION 655 OF NYS DOT STANDARDS AND SPECIFICATIONS.
  3. REFER TO APPROVED PLANS FOR ACTUAL LOCATION OF STOP LINE, SIZE AND LOCATION TO CONFORM TO MUTCD STANDARDS.
  4. REFLECTORIZED PAVEMENT MARKINGS TO BE WHITE EPOXY WITH WET NIGHT VISIBILITY SPHERES, NYS DOT ITEM #1885.
  5. ALL PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE NYS MANUAL OF TRAFFIC CONTROL DEVICES 260.

#### STOP BAR AND SIGN DETAIL

NOT TO SCALE

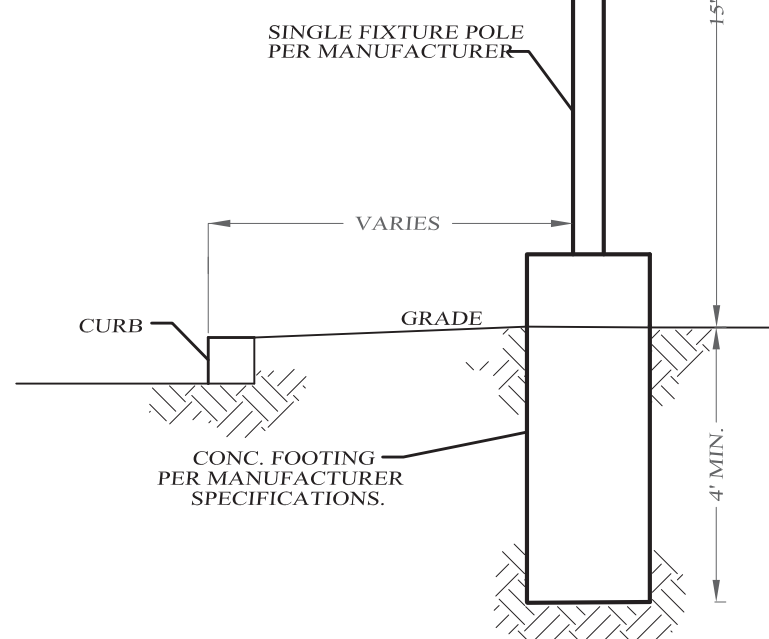
#### LEGEND

EXISTING PROPERTY LINE	---
PROPOSED PROPERTY LINE	---
PROPOSED BUILDING SETBACK	---
EXISTING STONEWALL	---
PROPOSED EDGE OF PAVEMENT	---
EXISTING EDGE OF PAVEMENT	---
EXISTING WETLAND LIMIT	---
EXISTING STREAM	---



MODEL #ALED3T150Y-RWLED3T150Y  
RWLED3T150SY-WPLED3T150Y (TYPE III)  
AS MANUFACTURED BY RAB LIGHTING  
170 LUTHER AVENUE  
NORTHVALE, NEW JERSEY 07647

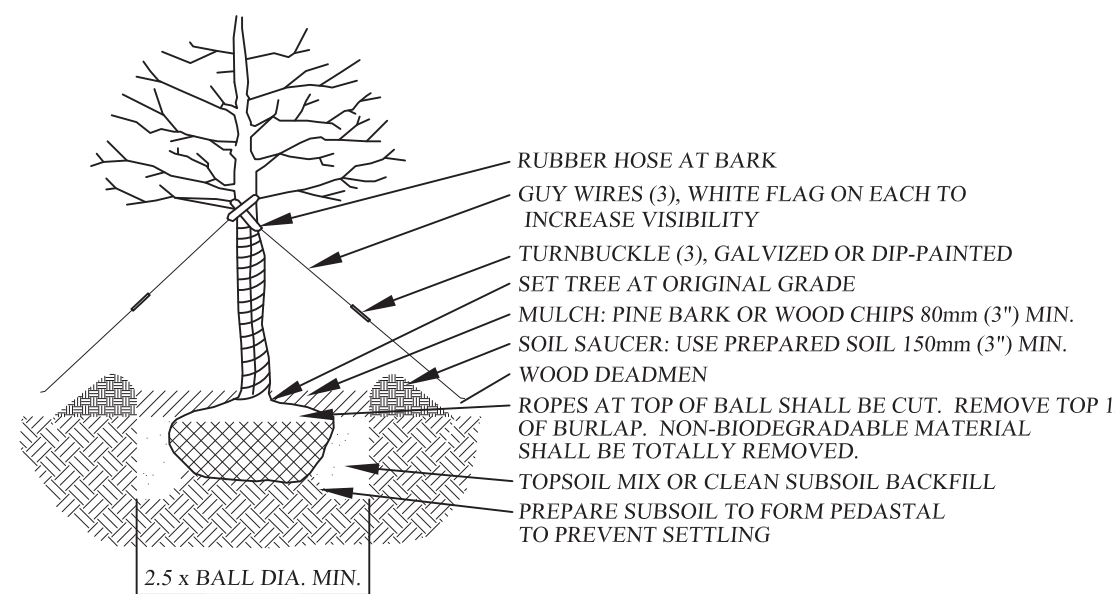
LED Info  
Watts: 150W  
Color Temp: 3000K  
Color Accuracy: 70 CRI  
L70 Lifespan: 100000  
Lumens: 15596  
Efficacy: 104 LPW



NOTES:  
1. ALL ELECTRICAL COMPONENTS TO BE AS SPECIFIED BY MANUFACTURER AND  
INSTALLED IN CONFORMANCE WITH ALL APPLICABLE BUILDING CODES.

#### POLE MOUNTED SINGLE LIGHT DETAIL

NOT TO SCALE



#### DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

#### STREET TREE NOTES:

TREES TO BE 2-1/2\"/>

110 TOTAL TREES IN THE VILLAGE  
PROVIDE A MIX FROM THE CHOICES BELOW:

COMMON NAME	SCIENTIFIC NAME
SUGAR MAPLE	ACER SACCHARUM
HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS
GREENSPICE LINDEN	TILIA CORDATA 'GREENSPICE'

#### VILLAGE VIEW

#### 28 LOT

#### CLUSTER SUBDIVISION

VILLAGE OF WARWICK,  
ORANGE COUNTY, NEW YORK

PROJECT TITLE

#### SITE PLAN

DRAWING TITLE

#### KIRK ROTHER, P.E. CONSULTING ENGINEER, PLLC

5 St. Stephens Lane, Warwick, NY 10990  
(845) 988-0620

DATE	REVISIONS	KIRK ROTHER, P.E.	N.Y.S. LIC. NO. 079053	DATE
03-28-22	REV. TO 28 LOT LAYOUT	D.O.T. SHEET #	D.E.C. SHEET #	O.C.H.D. SHEET #
10-28-19	REV. PER ENGINEER'S COMMENTS	N.A.	N.A.	N.A.
09-13-19	ADDITIONAL DESIGN	CAD # 04170	PROJECT #	SCALE
02-12-19	REDUCED SCALE ALTERNATIVE	CLUS 1-17	04170.0	AS SHOWN
08-22-18	INITIAL PREPARATION			

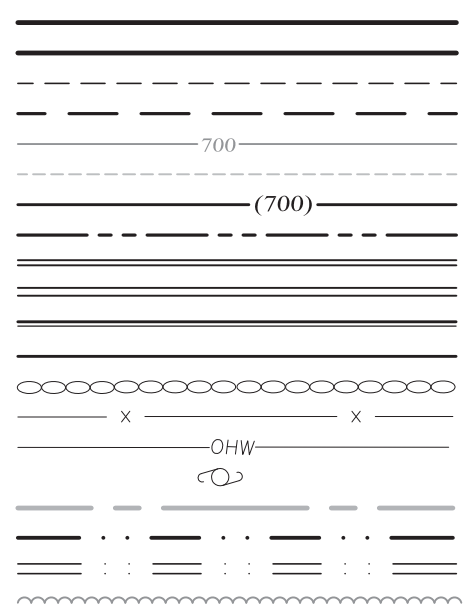
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LEGEND

EXISTING PROPERTY LINE  
PROPOSED PROPERTY LINE  
PROPOSED BUILDING SETBACK  
PROPOSED EASEMENT LINE  
10' CONTOUR LINE  
2' CONTOUR LINE  
PROPOSED CONTOUR LINE  
PROPOSED WATER MAIN  
PROPOSED SEWER MAIN  
PROPOSED STORM CULVERT  
PROPOSED EDGE OF PAVEMENT  
EXISTING EDGE OF PAVEMENT  
EXISTING STONEWALL  
EXISTING WIRE FENCE  
EXISTING OVER HEAD UTILITIES  
EXISTING UTILITY POLE  
USDA SOILS BOUNDARY  
EXISTING WETLAND LIMIT  
EXISTING STREAM  
EXISTING TREELINE



SEE TOWN DETENTION POND DETAILS  
(SHEET #12) FOR POND PLANTING,  
OUTLET CONTROL STRUCTURE &  
DETAILED POND DESIGN.

GRADING, UTILITY & ACCESS EASEMENT  
TO THE BENEFIT  
OF THE VILLAGE OF WARWICK

PROPOSED DRY POND 2A  
OUTLET  
CONTROL  
STRUCTURE  
30" HDPE OUTLET  
INV = 725.00

PROPOSED DIVERSION SWALE A

OPEN SPACE  
AREA

OPEN SPACE  
AREA

SEE BIORETENTION AREA DETAILS  
(SHEET #14) FOR BIORETENTION AREA  
PLANTING, OUTLET STRUCTURE &  
DETAILED DESIGN.

DETENTION POND  
DETAILS (SHEET #14)  
FOR POND PLANTING,  
OUTLET CONTROL STRUCTURE  
& DETAILED POND DESIGN.

OUTLET  
CONTROL  
STRUCTURE  
30" HDPE OUTLET  
INV = 674.00

BIORETENTION  
AREA 2

86 L.F. 8" SAN. SEWER MAIN  
@ 0.25%

S.M.H. A4  
STA. 6+73.45  
RIM = 688.50  
INV = 682.55

GRAVEL  
DIAPHRAGM

F.E.S. 10A &  
10 B W  
RIP-RAP  
INV = 685.25

6" PERF. PVC  
UNDERDRAIN  
COLLECTION SYSTEM

C.B. B102  
RIM = 685.50  
6" INV = 681.50  
18" INV = 680.50

72 L.F. 18" HDPE @ 3.47%

5 L.F. 12" HDPE @ 2.00%

5 L.F. 12" HDPE @ 2.00%

D.M.H. A2 (SEE DETAIL SHEET #14)

STA. 6+67.8  
RIM = 688.50  
INV IN = 685.32

(9.5 cfs) INV TO BIO = 685.32

WEIR ELEV = 686.04

(+9.5 cfs) OFFLINE INV = 683.00

113 L.F. 18" HDPE @ 8.00%

C.B. A10  
STA. 5+99.1  
RIM = 680.95  
INV = 677.48

24 L.F. 18" HDPE @ 2.00%

PROPOSED 8" D.I.P.  
WATER MAIN

149 L.F. 18" HDPE @ 9.85%

S.M.H. A3  
STA. 5+44.20  
RIM = 675.77  
INV = 669.27

142 L.F. 8" SAN. SEWER MAIN  
@ 9.35%

C.B. A9  
STA. 5+99.1  
RIM = 680.95  
INV = 677.96

121 L.F. 18" HDPE @ 9.95%

C.B. A11  
STA. 7+68.0  
RIM = 697.84  
INV = 694.36

C.B. A14  
STA. 8+88.35  
RIM = 709.88  
INV = 706.88

C.B. A13  
STA. 8+88.35  
RIM = 709.88  
INV = 706.40

S.M.H. A6  
STA. 8+96.50  
RIM = 711.00  
INV = 701.63

C.B. A15  
STA. 9+79.95  
RIM = 719.04  
INV = 715.91

C.B. A16  
STA. 10+69.4  
RIM = 727.98  
INV = 725.03

C.B. A17  
STA. 10+69.4  
RIM = 727.98  
INV = 724.55

C.B. A18  
STA. 12+16.5  
RIM = 742.69  
INV = 739.68

C.B. A19  
STA. 12+16.5  
RIM = 742.69  
INV = 739.20

C.B. A20  
STA. 13+70.75  
RIM = 758.12  
INV = 755.12

C.B. A21  
STA. 13+70.75  
RIM = 758.12  
INV = 754.67

C.B. A22  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A23  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A24  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A25  
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INV = 765.47

C.B. A26  
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INV = 765.47

C.B. A29  
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RIM = 768.47  
INV = 765.47

C.B. A30  
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RIM = 768.47  
INV = 765.47

C.B. A31  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A32  
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RIM = 768.47  
INV = 765.47

C.B. A33  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A34  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A35  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A36  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A37  
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INV = 765.47

C.B. A38  
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RIM = 768.47  
INV = 765.47

C.B. A39  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A40  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A41  
STA. 14+41.70  
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INV = 765.47

C.B. A42  
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C.B. A43  
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C.B. A44  
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C.B. A45  
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C.B. A46  
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C.B. A66  
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C.B. A67  
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C.B. A68  
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C.B. A69  
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C.B. A70  
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C.B. A71  
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C.B. A72  
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C.B. A73  
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C.B. A74  
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C.B. A75  
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C.B. A76  
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C.B. A77  
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C.B. A78  
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C.B. A79  
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INV = 765.47

C.B. A80  
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C.B. A81  
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INV = 765.47

C.B. A82  
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RIM = 768.47  
INV = 765.47

C.B. A83  
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RIM = 768.47  
INV = 765.47

C.B. A84  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A85  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A86  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A87  
STA. 14+41.70  
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INV = 765.47

C.B. A88  
STA. 14+41.70  
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C.B. A89  
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C.B. A90  
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INV = 765.47

C.B. A91  
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C.B. A92  
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C.B. A94  
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INV = 765.47

C.B. A95  
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C.B. A96  
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C.B. A97  
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C.B. A98  
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RIM = 768.47  
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C.B. A99  
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RIM = 768.47  
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C.B. A100  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A101  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A102  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A103  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A104  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A105  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A106  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A107  
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RIM = 768.47  
INV = 765.47

C.B. A108  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A109  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A110  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A111  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A112  
STA. 14+41.70  
RIM = 768.47  
INV = 765.47

C.B. A113  
STA. 14+41.70  
RIM = 768.47  
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C.B. A114  
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RIM = 768.47  
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C.B. A115  
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C.B. A125  
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C.B. A139  
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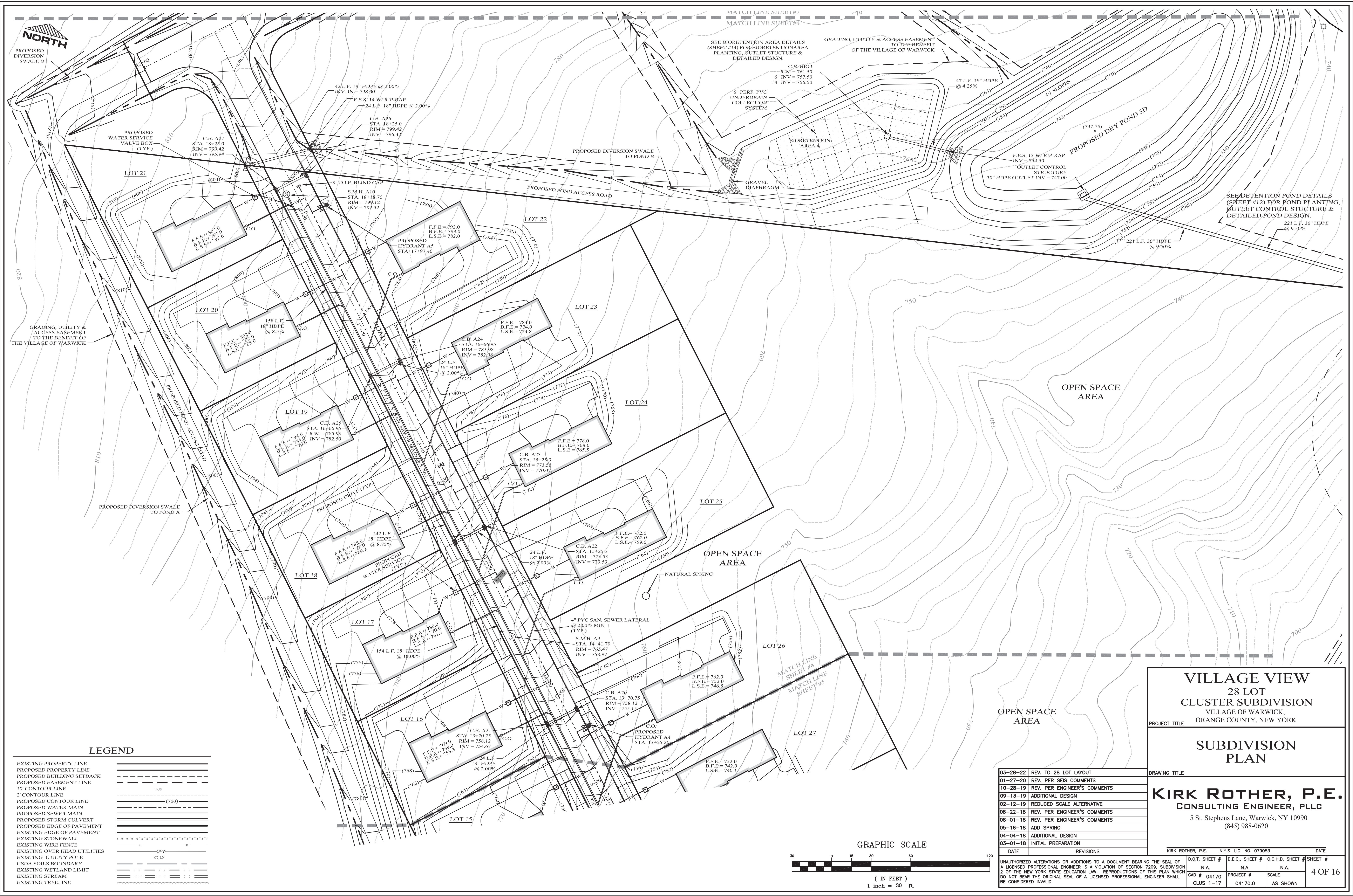
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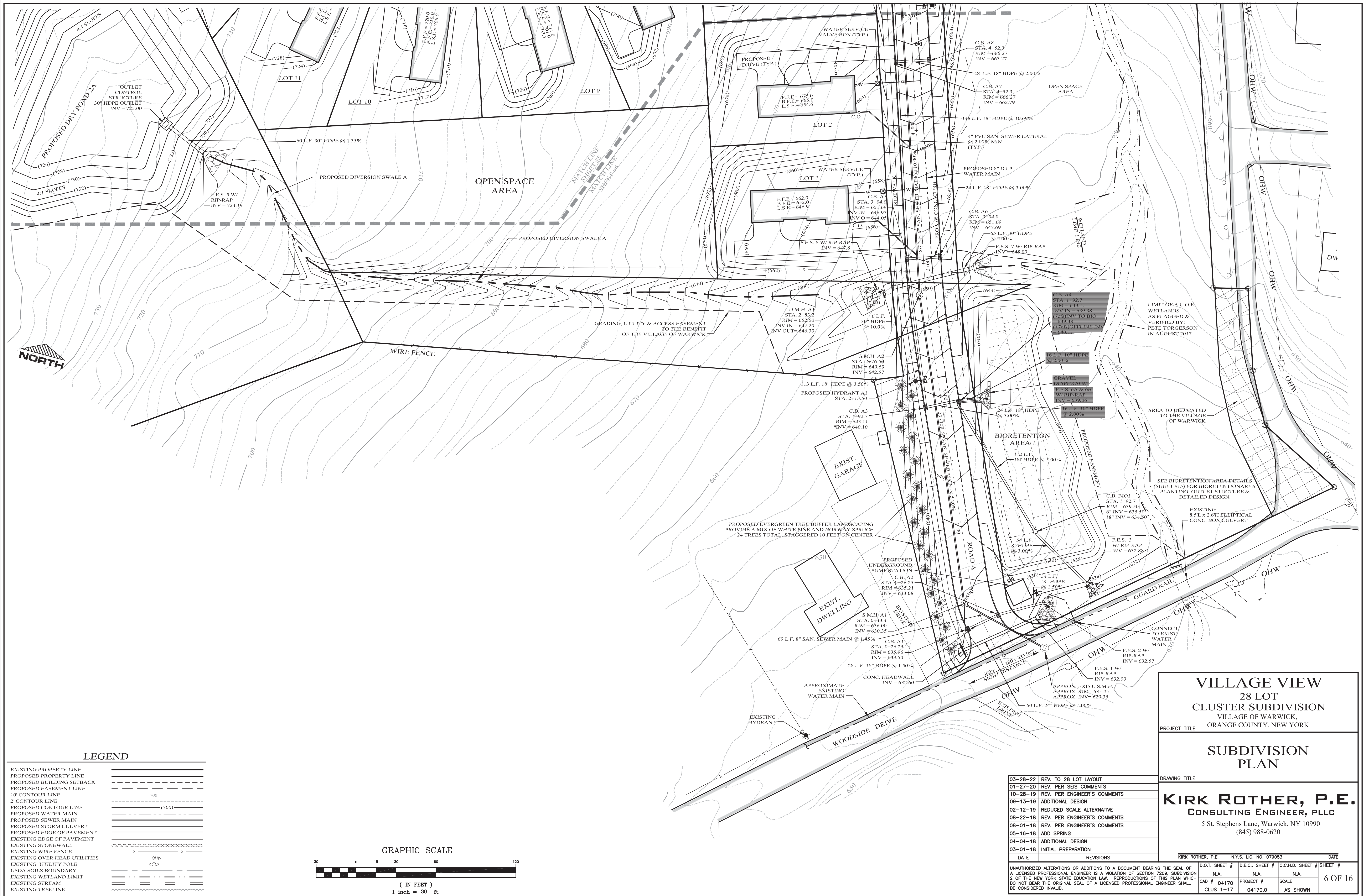
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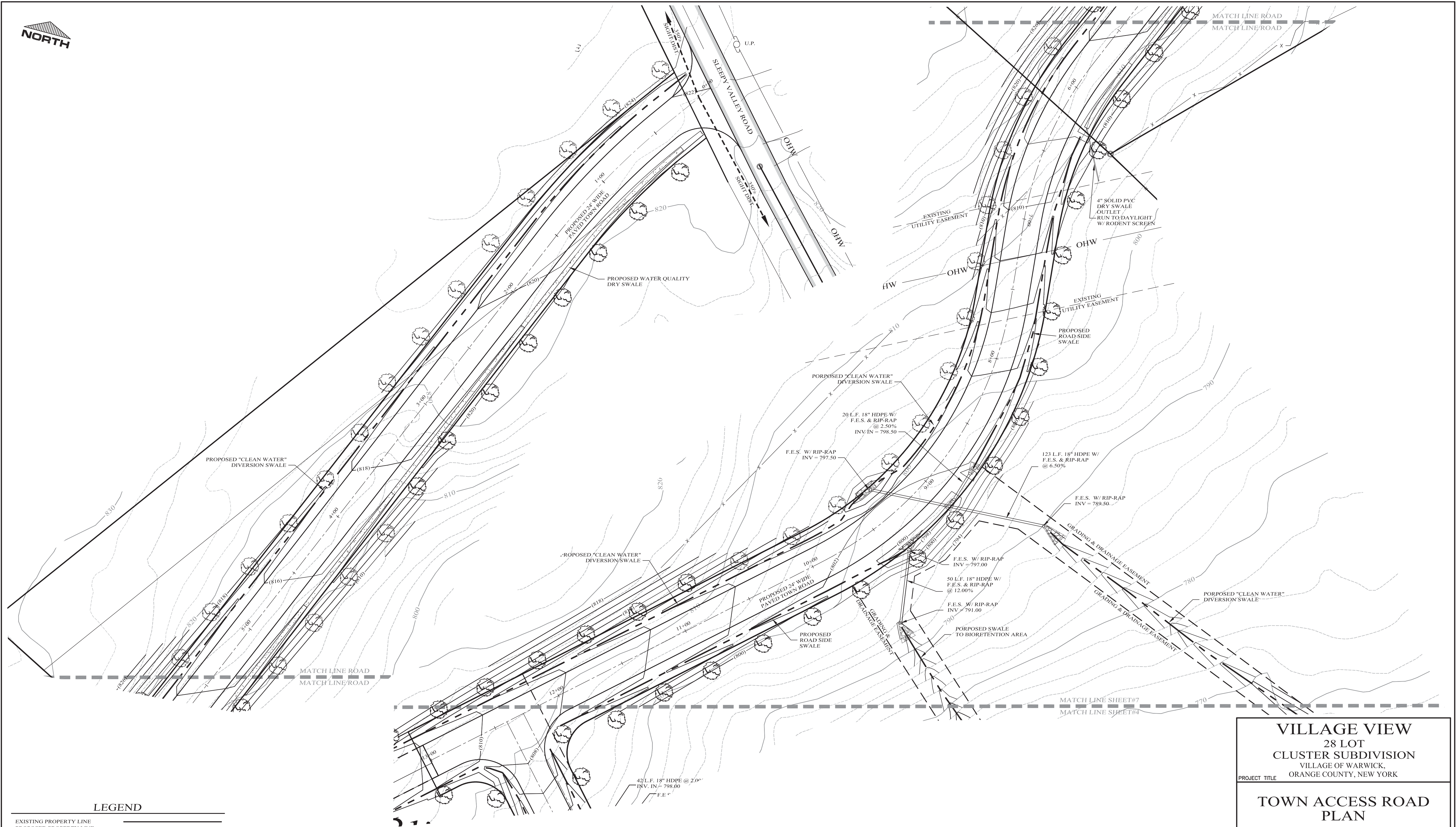








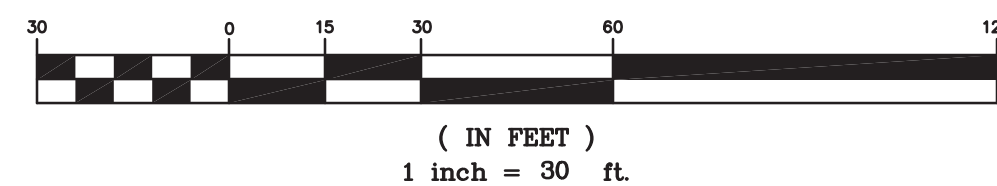




LEGEND

EXISTING PROPERTY LINE	—
PROPOSED PROPERTY LINE	- - - - -
PROPOSED BUILDING SETBACK	- · - · -
PROPOSED EASEMENT LINE	- · - · -
10' CONTOUR LINE	— (700) —
2' CONTOUR LINE	— (700) —
PROPOSED CONTOUR LINE	- - - - - (700) - - - - -
PROPOSED WATER MAIN	—
PROPOSED SEWER MAIN	—
PROPOSED STORM CULVERT	—
PROPOSED EDGE OF PAVEMENT	—
EXISTING EDGE OF PAVEMENT	—
EXISTING STONEWALL	—
EXISTING WIRE FENCE	— x — x —
EXISTING OVER HEAD UTILITIES	—
EXISTING UTILITY POLE	—
USDA SOILS BOUNDARY	—
EXISTING WETLAND LIMIT	—
EXISTING STREAM	—
EXISTING TREELINE	—

GRAPHIC SCALE



DATE	REVISIONS
03-28-22	REV. TO 28 LOT LAYOUT
01-27-20	REV. PER SEIS COMMENTS
10-28-19	REV. PER ENGINEER'S COMMENTS
09-13-19	INITIAL PREPARATION

VILLAGE VIEW  
28 LOT  
CLUSTER SUBDIVISION  
VILLAGE OF WARWICK,  
ORANGE COUNTY, NEW YORK

PROJECT TITLE

TOWN ACCESS ROAD  
PLAN

DRAWING TITLE

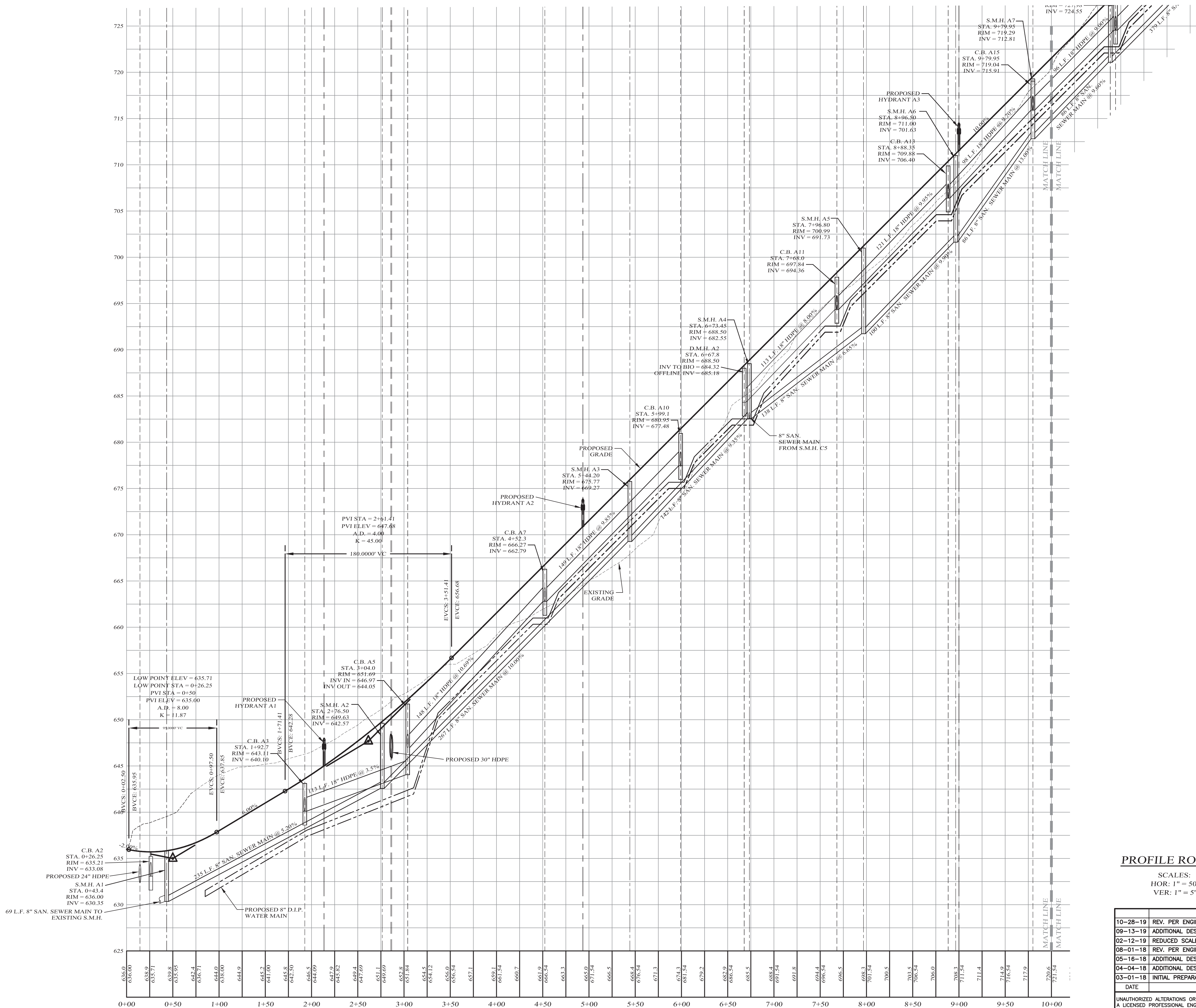
KIRK ROTHER, P.E.  
CONSULTING ENGINEER, PLLC

5 St. Stephens Lane, Warwick, NY 10990  
(845) 988-0620

D.O.T. SHEET #	D.E.C. SHEET #	O.C.H.D. SHEET #	SHEET #
N.A.	N.A.	N.A.	7 OF 16
CAD # 04170	PROJECT #	SCALE	
CLUS 1-17	04170.0	AS SHOWN	

DATE	REVISIONS	KIRK ROTHER, P.E.	N.Y.S. LIC. NO. 079053	DATE





PROFILE ROAD A

SCALES:  
HOR: 1" = 50'  
VER: 1" = 5'

DATE	REVISIONS
10-28-19	REV. PER ENGINEER'S COMMENTS
09-13-19	ADDITIONAL DESIGN
02-12-19	REDUCED SCALE ALTERNATIVE
08-01-18	REV. PER ENGINEER'S COMMENTS
05-16-18	ADDITIONAL DESIGN
04-04-18	ADDITIONAL DESIGN
03-01-18	INITIAL PREPARATION

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. REPRODUCTIONS OF THIS PLAN WHICH DO NOT BEAR THE ORIGINAL SEAL OF A LICENSED PROFESSIONAL ENGINEER SHALL BE CONSIDERED INVALID.

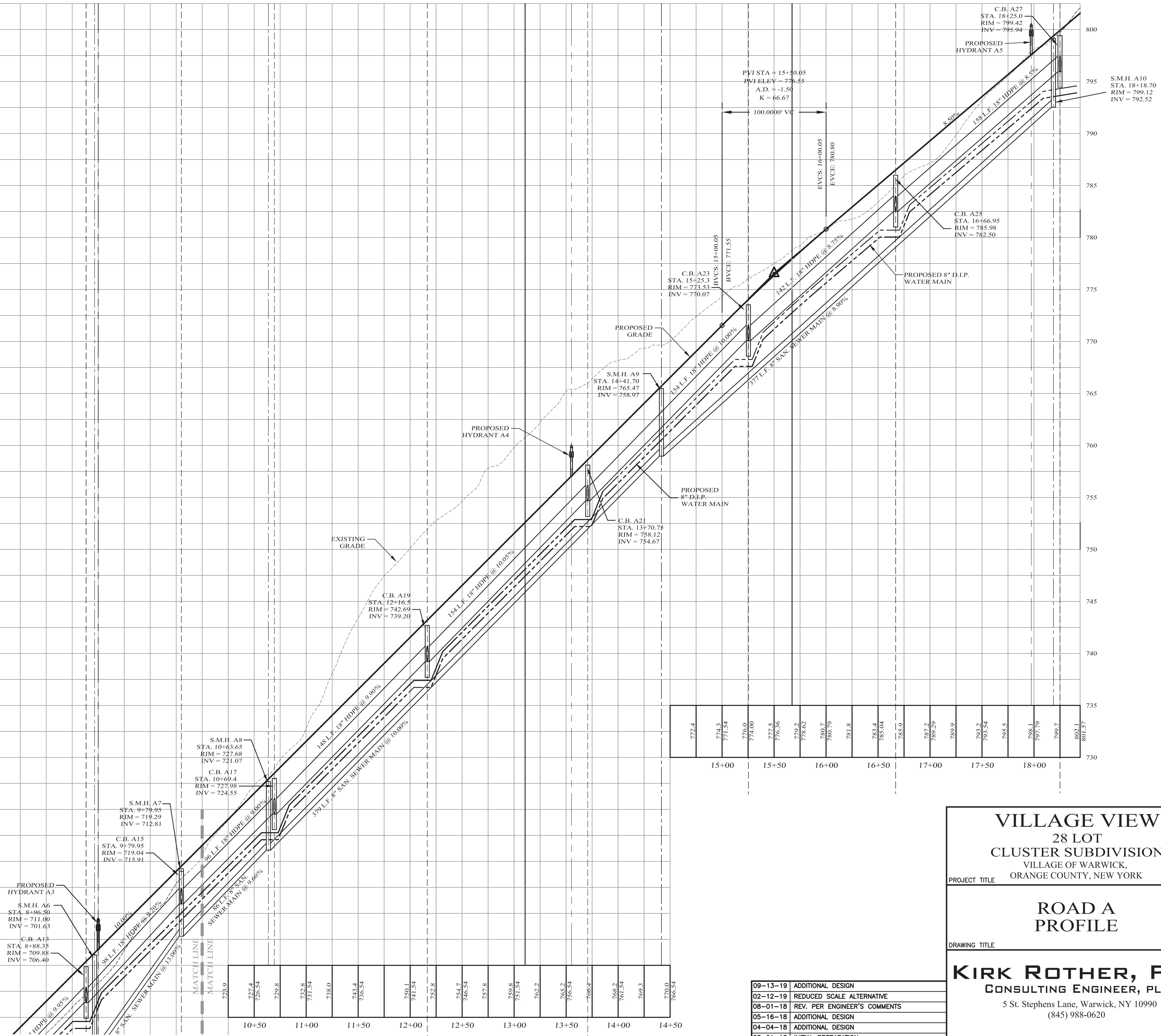
VILLAGE VIEW  
28 LOT  
CLUSTER SUBDIVISION  
VILLAGE OF WARWICK,  
ORANGE COUNTY, NEW YORK

ROAD A  
PROFILE

KIRK ROTHER, P.E.  
CONSULTING ENGINEER, PLLC  
5 St. Stephens Lane, Warwick, NY 10990  
(845) 988-0620

D.O.T. SHEET #	D.E.C. SHEET #	O.C.H.D. SHEET #	SHEET #
N.A.	N.A.	N.A.	8 OF 16
CAD # 04170	PROJECT #	SCALE	
CLUS 1-17	04170.0	AS SHOWN	





PROFILE ROAD A

SCALES:  
HOR: 1" = 50'  
VER: 1" = 5'

772.4	774.3	776.0	777.5	779.2	780.7	781.8	783.4	785.9	787.2	789.9	790.2	793.54	795.5	798.1	799.7	802.1	801.57
15+00		15+50		16+00		16+50		17+00		17+50		18+00					

VILLAGE VIEW  
28 LOT  
CLUSTER SUBDIVISION  
VILLAGE OF WARWICK,  
ORANGE COUNTY, NEW YORK

ROAD A  
PROFILE

KIRK ROTHER, P.E.  
CONSULTING ENGINEER, PLLC  
5 St. Stephens Lane, Warwick, NY 10990  
(845) 988-0620

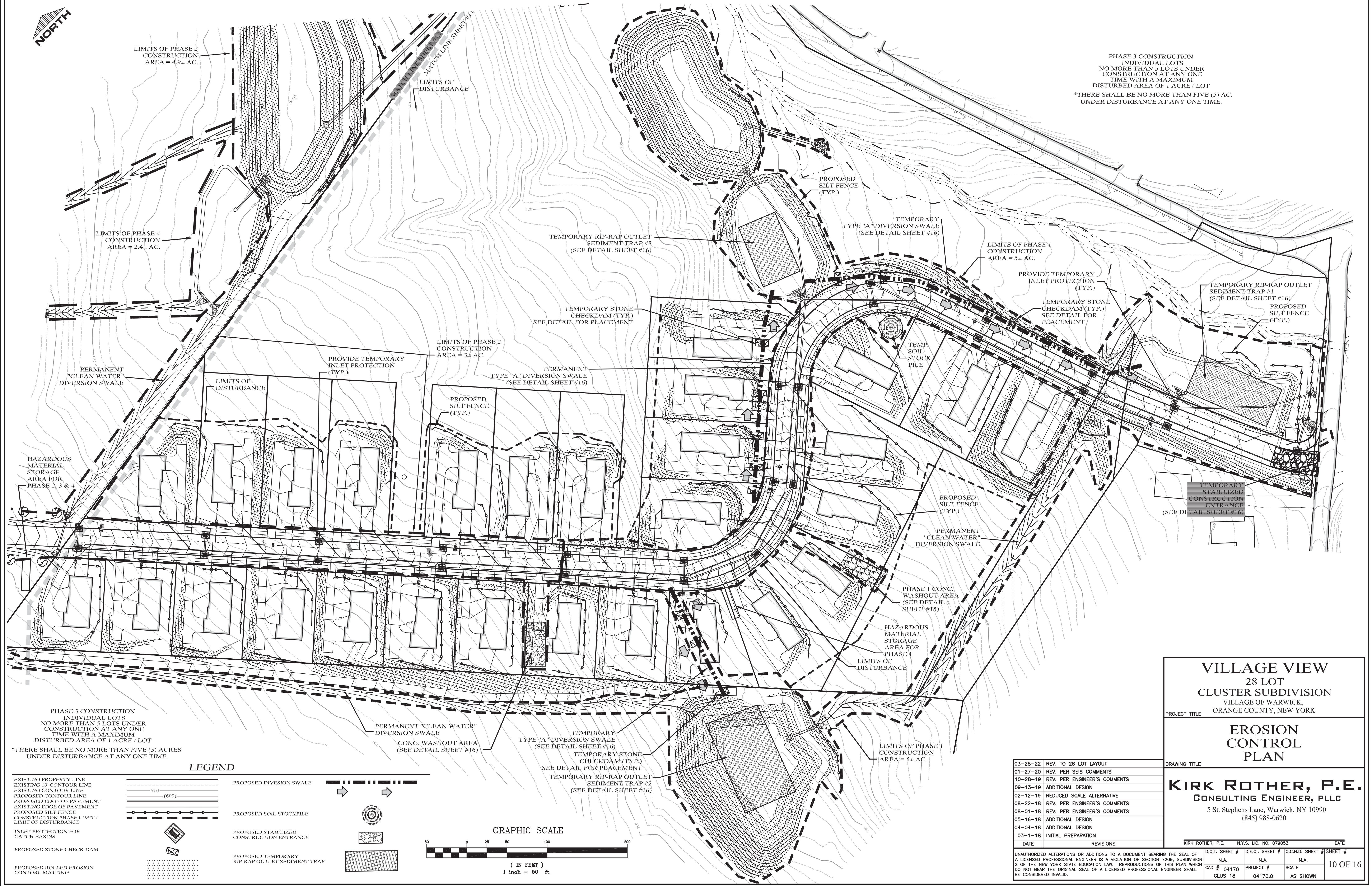
09-13-19	ADDITIONAL DESIGN
02-12-19	REDUCED SCALE ALTERNATIVE
08-01-18	REV. PER ENGINEER'S COMMENTS
05-16-18	ADDITIONAL DESIGN
04-04-18	ADDITIONAL DESIGN
03-01-18	INITIAL PREPARATION
DATE	REVISIONS

KIRK ROTHER, P.E.	N.Y.S. LIC. NO. 079053	DATE
D.O.T. SHEET #	D.E.C. SHEET #	O.C.H.D. SHEET #
N.A.	N.A.	N.A.
CAD # 04170	PROJECT #	SCALE
CLUS 1-17	04170.0	AS SHOWN

9 OF 16

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. REPRODUCTIONS OF THIS PLAN WHICH DO NOT BEAR THE ORIGINAL SEAL OF A LICENSED PROFESSIONAL ENGINEER SHALL BE CONSIDERED INVALID.





PHASE 3 CONSTRUCTION  
INDIVIDUAL LOTS  
NO MORE THAN 5 LOTS UNDER  
CONSTRUCTION AT ANY ONE  
TIME WITH A MAXIMUM  
DISTURBED AREA OF 1 ACRE / LOT

\*THERE SHALL BE NO MORE THAN FIVE (5) AC.  
UNDER DISTURBANCE AT ANY ONE TIME.

**VILLAGE VIEW**  
**28 LOT**  
**CLUSTER SUBDIVISION**  
VILLAGE OF WARWICK,  
ORANGE COUNTY, NEW YORK

# EROSION CONTROL PLAN

DRAWING TITLE

**KIRK ROTHER, P.E.**  
CONSULTING ENGINEER, PLLC  
5 St. Stephens Lane, Warwick, NY 10990  
(845) 988-0620

03--28--22	REV. TO 28 LOT LAYOUT
01--27--20	REV. PER SEIS COMMENTS
10--28--19	REV. PER ENGINEER'S COMMENTS
09--13--19	ADDITIONAL DESIGN
02--12--19	REDUCED SCALE ALTERNATIVE
08--22--18	REV. PER ENGINEER'S COMMENTS
08--01--18	REV. PER ENGINEER'S COMMENTS
05--16--18	ADDITIONAL DESIGN
04--04--18	ADDITIONAL DESIGN
03--11--18	INITIAL PREPARATION
DATE	REVISIONS

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A DOCUMENT BY A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 2 OF THE NEW YORK STATE EDUCATION LAW. REPRODUCTIONS DO NOT BEAR THE ORIGINAL SEAL OF A LICENSED PROFESSIONAL AND BE CONSIDERED INVALID.

DATE	REVISIONS	REVISION
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. REPRODUCTIONS OF THIS PLAN WHICH DO NOT BEAR THE ORIGINAL SEAL OF A LICENSED PROFESSIONAL ENGINEER SHALL BE CONSIDERED INVALID.		

D.O.T. SHEET #		D.E.C. SHEET #	O.C.H.D. SHEET #	SHEET #
N.A.		N.A.	N.A.	10 OF 16
CAD # 04170	PROJECT #	SCALE		
CLUS 18	04170.0	AS SHOWN		

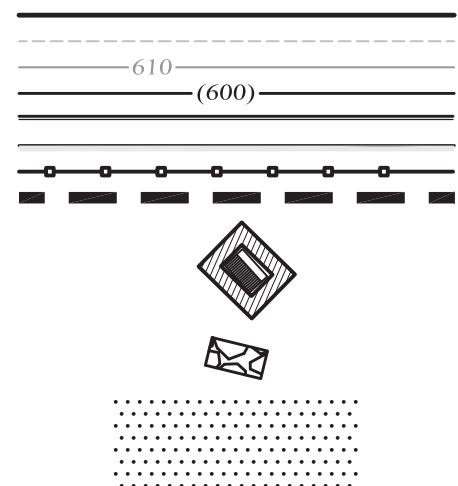




TEMPORARY  
STABILIZED  
CONSTRUCTION  
ENTRANCE  
(SEE DETAIL  
SHEET #16)

#### LEGEND

EXISTING PROPERTY LINE  
EXISTING 10' CONTOUR LINE  
EXISTING CONTOUR LINE  
PROPOSED CONTOUR LINE  
PROPOSED EDGE OF PAVEMENT  
EXISTING EDGE OF PAVEMENT  
PROPOSED SILT FENCE  
CONSTRUCTION PHASE LIMIT /  
LIMIT OF DISTURBANCE  
INLET PROTECTION FOR  
CATCH BASINS  
PROPOSED STONE CHECK DAM  
PROPOSED ROLLED EROSION  
CONTROL MATTING



PROPOSED DIVISION SWALE



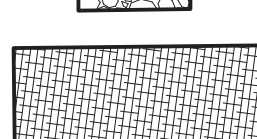
PROPOSED SOIL STOCKPILE



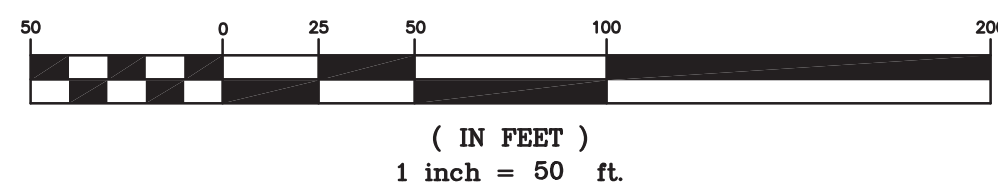
PROPOSED STABILIZED  
CONSTRUCTION ENTRANCE



PROPOSED TEMPORARY  
RIP-RAP OUTLET SEDIMENT TRAP



#### GRAPHIC SCALE



LIMITS OF PHASE 2  
CONSTRUCTION  
AREA = 4.9± AC.

LIMITS OF PHASE 4  
CONSTRUCTION  
AREA = 2.4± AC.

LIMITS OF PHASE 4  
CONSTRUCTION  
AREA = 2.4± AC.

PERMANENT  
"CLEAN WATER"  
DIVERSION SWALE

HAZARDOUS  
MATERIAL  
STORAGE  
AREA FOR  
PHASE 2, 3 & 4

PROVIDE TEMPORARY  
INLET PROTECTION  
(TYP.)

LIMITS OF  
CONSTR.  
AREA

PHASE 3 CONSTRUCTION  
INDIVIDUAL LOTS  
NO MORE THAN 5 LOTS UNDER  
CONSTRUCTION AT ANY ONE  
TIME WITH A MAXIMUM  
DISTURBED AREA OF 1 ACRE / LOT  
\*THERE SHALL BE NO MORE THAN FIVE (5) AC.  
UNDER DISTURBANCE AT ANY ONE TIME.

VILLAGE VIEW  
28 LOT  
CLUSTER SUBDIVISION  
VILLAGE OF WARWICK,  
ORANGE COUNTY, NEW YORK

#### EROSION CONTROL PLAN

DRAWING TITLE

**KIRK ROTHER, P.E.**  
CONSULTING ENGINEER, PLLC

5 St. Stephens Lane, Warwick, NY 10990  
(845) 988-0620

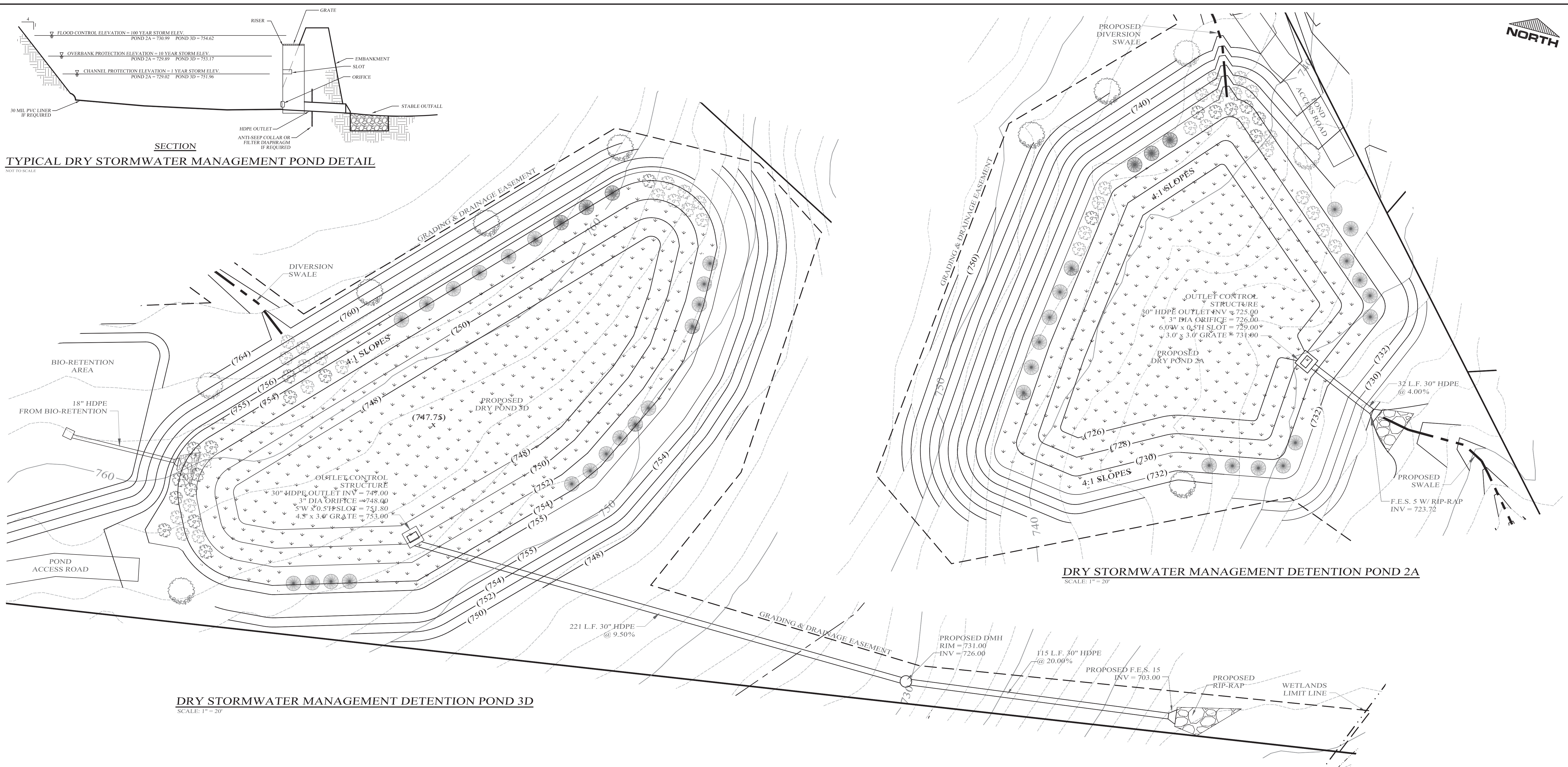
DATE	REVISIONS
03-28-22	REV. TO 28 LOT LAYOUT
01-27-20	REV. PER SEIS COMMENTS
10-28-19	REV. PER ENGINEER'S COMMENTS
09-13-19	ADDITIONAL DESIGN
02-12-19	REDUCED SCALE ALTERNATIVE
08-22-18	REV. PER ENGINEER'S COMMENTS
08-01-18	REV. PER ENGINEER'S COMMENTS
05-16-18	ADDITIONAL DESIGN
04-04-18	ADDITIONAL DESIGN
03-1-18	INITIAL PREPARATION

KIRK ROTHER, P.E. N.Y.S. LIC. NO. 079053 DATE

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF  
A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUBDIVISION  
2 OF THE NEW YORK STATE EDUCATION LAW. REPRODUCTIONS OF THIS PLAN WHICH  
DO NOT BEAR THE ORIGINAL SEAL OF A LICENSED PROFESSIONAL ENGINEER SHALL  
BE CONSIDERED INVALID.

D.O.T. SHEET #	D.E.C. SHEET #	O.C.H.D. SHEET #	SHEET #
N.A.	N.A.	N.A.	11 OF 16
CAD #	PROJECT #	SCALE	
04170 CLUS 18	04170.0	AS SHOWN	



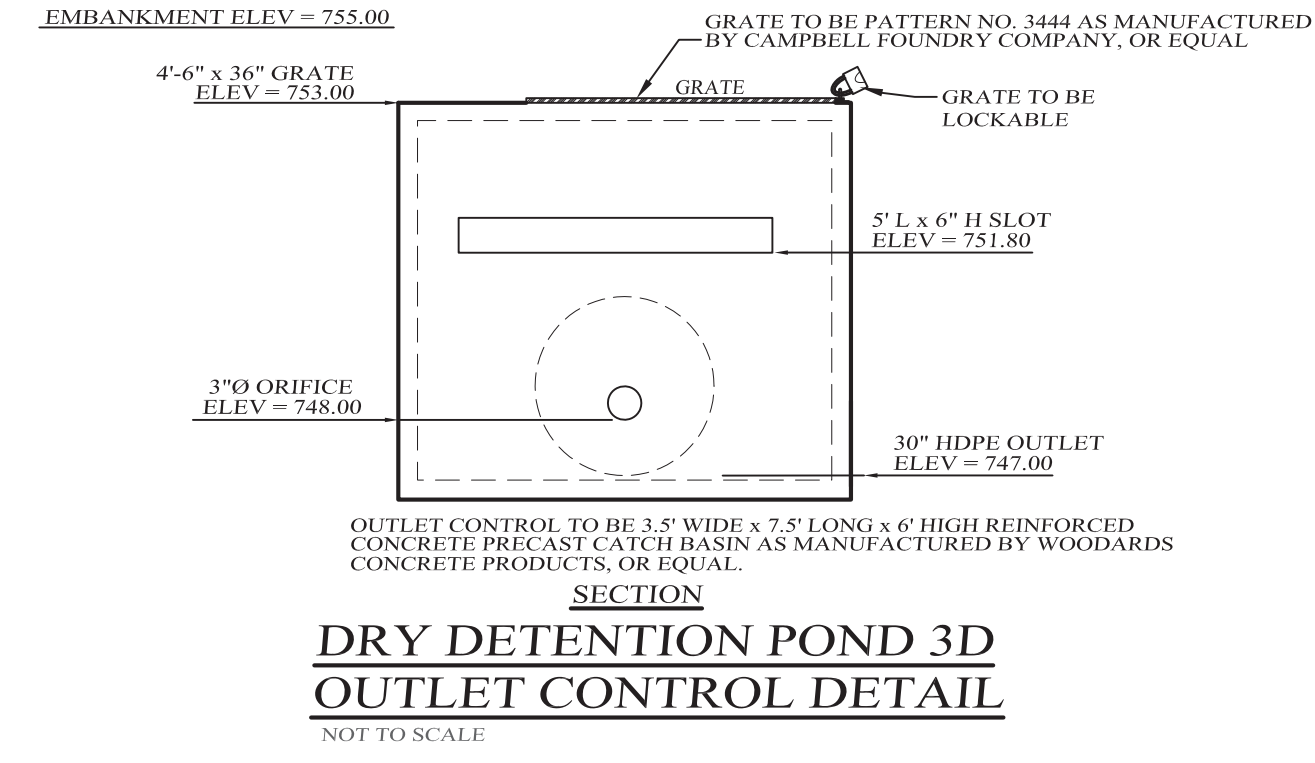
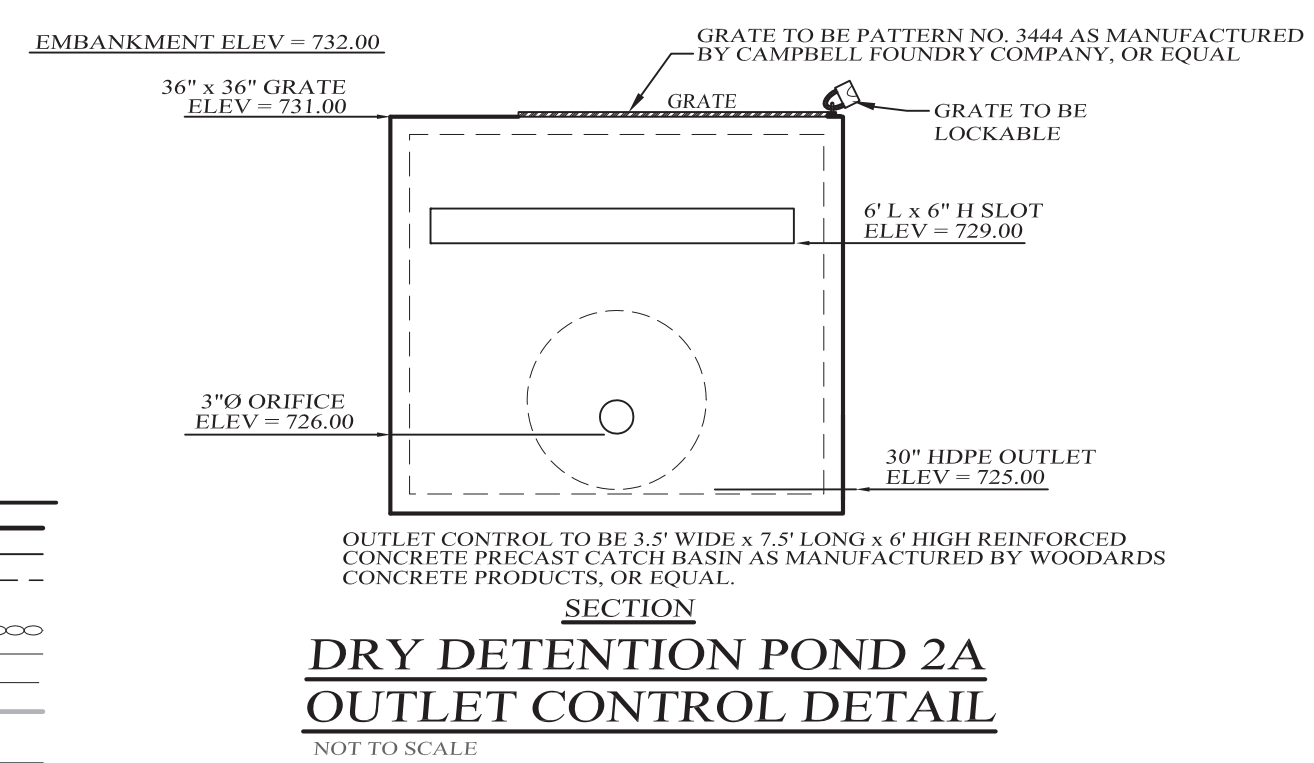


SECTION  
TYPICAL DRY STORMWATER MANAGEMENT POND DETAIL  
NOT TO SCALE

DRY STORMWATER MANAGEMENT DETENTION POND 3D  
SCALE: 1" = 20'

DRY STORMWATER MANAGEMENT DETENTION POND 2A  
SCALE: 1" = 20'

- LEGEND**
- EXISTING PROPERTY LINE
  - PROPOSED PROPERTY LINE
  - MINIMUM SETBACK LINE
  - EXISTING STONEWALL
  - EXISTING WIRE FENCE
  - EXISTING OVER HEAD UTILITIES
  - USDA SOILS BOUNDARY
  - EXISTING TREELINE
  - EXISTING EDGE OF PAVEMENT
  - PROPOSED SILT FENCE
  - PROPOSED SWALE



SYMBOL	PLANT NAME	POND PLANTING ZONE	SCIENTIFIC NAME	POND 2A QUANTITY	POND 3D QUANTITY	SIZE
	SYCAMORE	4	PLANTANUS OCCIDENTALIS	5	5	2" CAL. B & B
	SILKY DOGWOOD	4	CORNUS AMOMIUM	20	23	3 CAL. CONT.
	SEDGES	3	CAREX SPP	26	32	PLUG
	SWITCHGRASS	3 & 4	PANICUM VIRGATUM	15,000 S.F.	20,000 S.F.	N.A.

NOTES:  
1. WOODY VEGETATION MAY NOT BE PLANTED OR ALLOWED TO GROW WITHIN 15 FEET OF THE TOE OF EMBANKMENT AND 25 FEET FROM THE PRINCIPAL SPILLWAY STRUCTURE.

HYDROLOGIC ZONES		
ZONE #	ZONE DESCRIPTION	HYDROLOGIC CONDITIONS
ZONE 1	DEEP WATER POOL	1-6 FEET DEEP PERMANENT POOL
ZONE 2	SHALLOW WATER BENCH	6 INCHES TO 1 FOOT DEEP
ZONE 3	SHORELINE FRINGE	REGULARLY INUNDATED
ZONE 4	RIPARIAN FRINGE	PERIODICALLY INUNDATED
ZONE 5	FLOODPLAIN TERRACE	INFREQUENTLY INUNDATED
ZONE 6	UPLAND SLOPES	SELDOM OR NEVER INUNDATED

DATE	REVISIONS
01-27-20	REV. PER SEIS COMMENTS
10-28-19	REV. PER ENGINEER'S COMMENTS
09-13-19	ADDITIONAL DESIGN
02-12-19	REDUCED SCALE ALTERNATIVE
08-22-18	REV. PER ENGINEER'S COMMENTS
08-01-18	REV. PER ENGINEER'S COMMENTS
05-16-18	ADDITIONAL DESIGN
03-01-18	INITIAL PREPARATION

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. REPRODUCTIONS OF THIS PLAN WHICH DO NOT BEAR THE ORIGINAL SEAL OF A LICENSED PROFESSIONAL ENGINEER SHALL BE CONSIDERED INVALID.	D.O.T. SHEET # N.A.	D.E.C. SHEET # N.A.	O.C.H.D. SHEET # N.A.	SHEET # 12 OF 16
	CAD # 04170 CLUS 1-17	PROJECT # 04170.0	SCALE AS SHOWN	

**VILLAGE VIEW**  
28 LOT  
CLUSTER SUBDIVISION  
VILLAGE OF WARWICK,  
ORANGE COUNTY, NEW YORK

PROJECT TITLE

**TOWN**  
DETENTION POND  
DETAILS

DRAWING TITLE

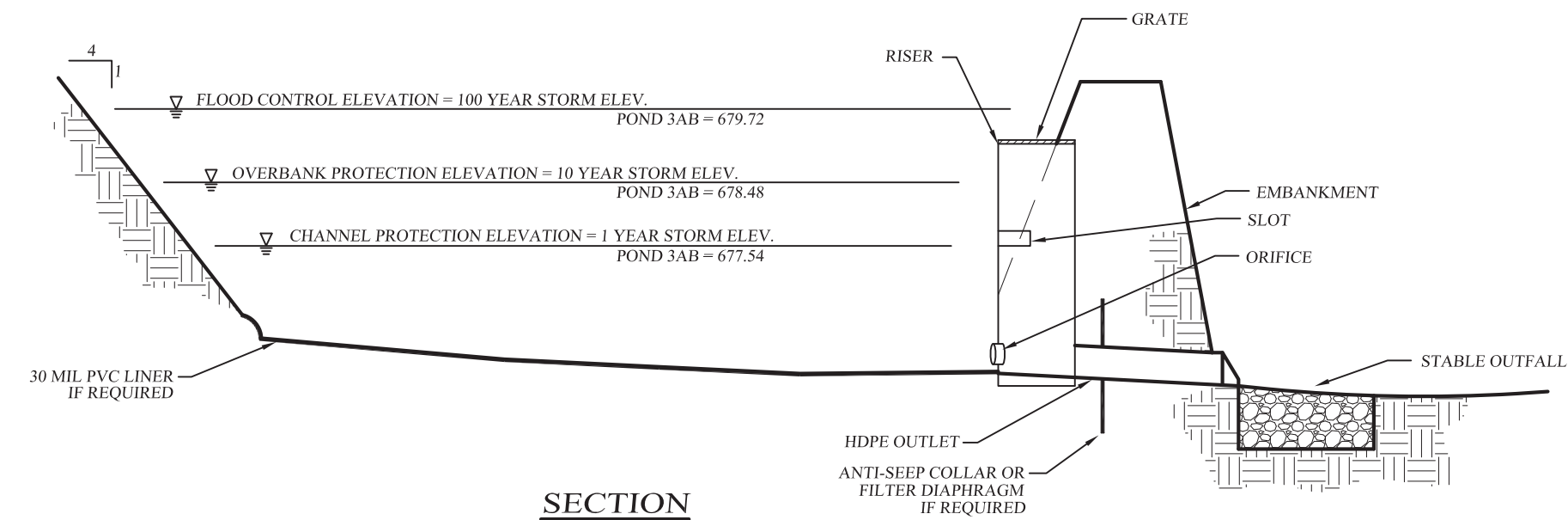
**KIRK ROTHER, P.E.**  
CONSULTING ENGINEER, PLLC  
5 St. Stephens Lane, Warwick, NY 10990  
(845) 988-0620

DATE

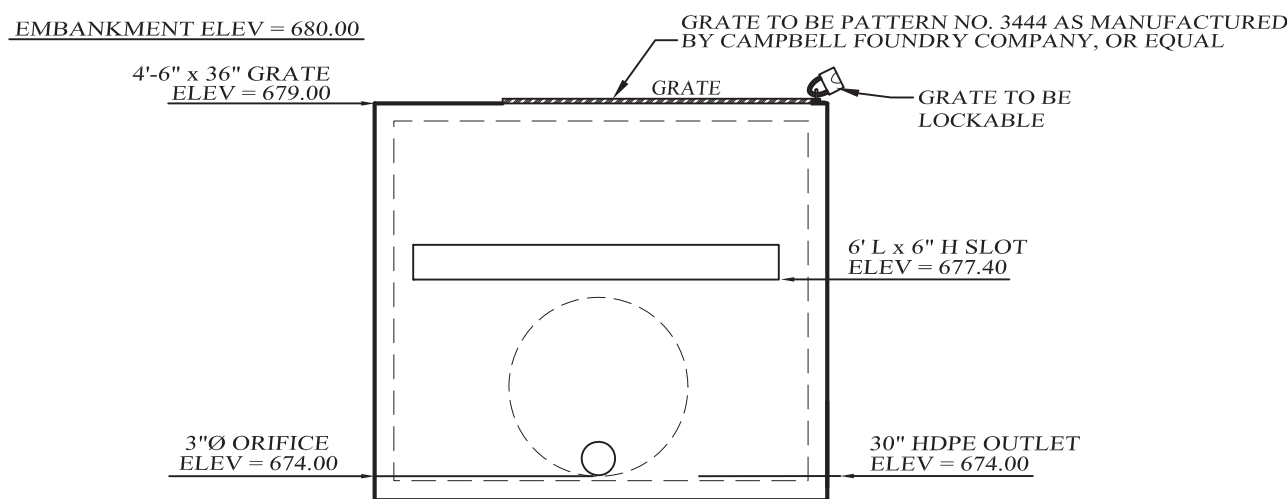
REVISIONS

KIRK ROTHER, P.E. N.Y.S. LIC. NO. 079053



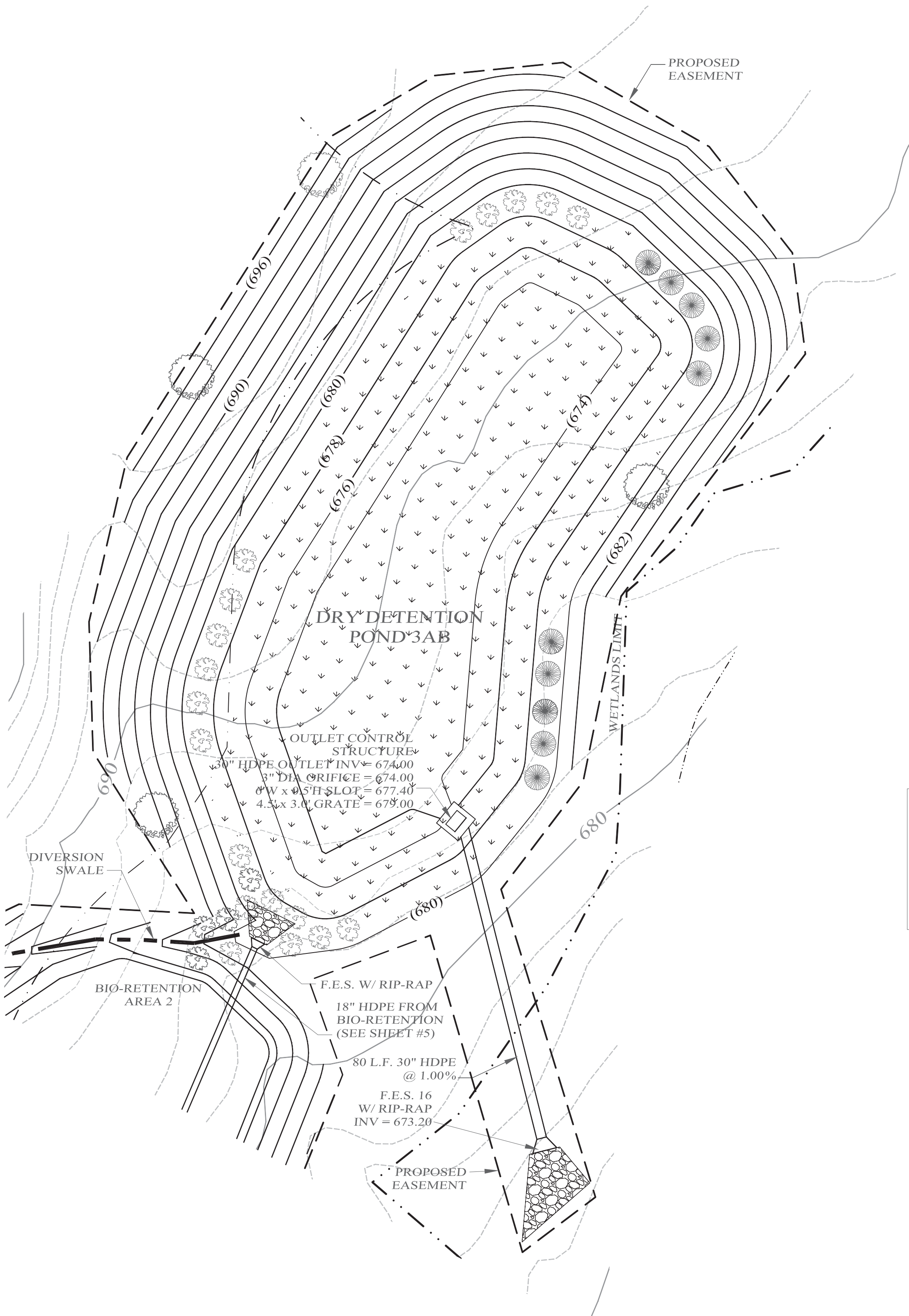


SECTION  
TYPICAL DRY STORMWATER MANAGEMENT POND DETAIL  
NOT TO SCALE



SECTION  
DRY DETENTION POND 3AB  
OUTLET CONTROL DETAIL  
NOT TO SCALE

LEGEND	
EXISTING PROPERTY LINE	=====
PROPOSED PROPERTY LINE	-----
MINIMUM SETBACK LINE	- - - - -
EXISTING WETLANDS LINE	~~~~~
EXISTING STONEWALL	=====
EXISTING WIRE FENCE	x x x x x
EXISTING OVER HEAD UTILITIES	----- OHW -----
USDA SOILS BOUNDARY	=====
EXISTING TREELINE	=====
EXISTING EDGE OF PAVEMENT	=====
PROPOSED SILT FENCE	=====
PROPOSED SWALE	=====



DRY STORMWATER MANAGEMENT DETENTION POND 3AB  
SCALE: 1" = 20'

SYMBOL	PLANT NAME	POND PLANTING ZONE	SCIENTIFIC NAME	POND 3AB QUANTITY	SIZE
	SYCAMORE	4	PLANTANUS OCCIDENTALIS	4	2" CAL. B & B
	SILKY DOGWOOD	4	CORNUS AMOMIUM	10	3 GAL. CONT.
	SEDGES	3	CAREX SPP	23	PLUG
	SWITCHGRASS	3 & 4	PANICUM VIRGATUM	12,800 S.F.	N.A.

NOTES:  
1. WOODY VEGETATION MAY NOT BE PLANTED OR ALLOWED TO GROW WITHIN 15 FEET OF THE TOE OF EMBANKMENT AND 25 FEET FROM THE PRINCIPAL SPILLWAY STRUCTURE.

HYDROLOGIC ZONES		
ZONE #	ZONE DESCRIPTION	HYDROLOGIC CONDITIONS
ZONE 1	DEEP WATER POOL	1-6 FEET DEEP PERMANENT POOL
ZONE 2	SHALLOW WATER BENCH	6 INCHES TO 1 FOOT DEEP
ZONE 3	SHORELINE FRINGE	REGULARLY INUNDATED
ZONE 4	RIPARIAN FRINGE	PERIODICALLY INUNDATED
ZONE 5	FLOODPLAIN TERRACE	INFREQUENTLY INUNDATED
ZONE 6	UPLAND SLOPES	SELDOM OR NEVER INUNDATED

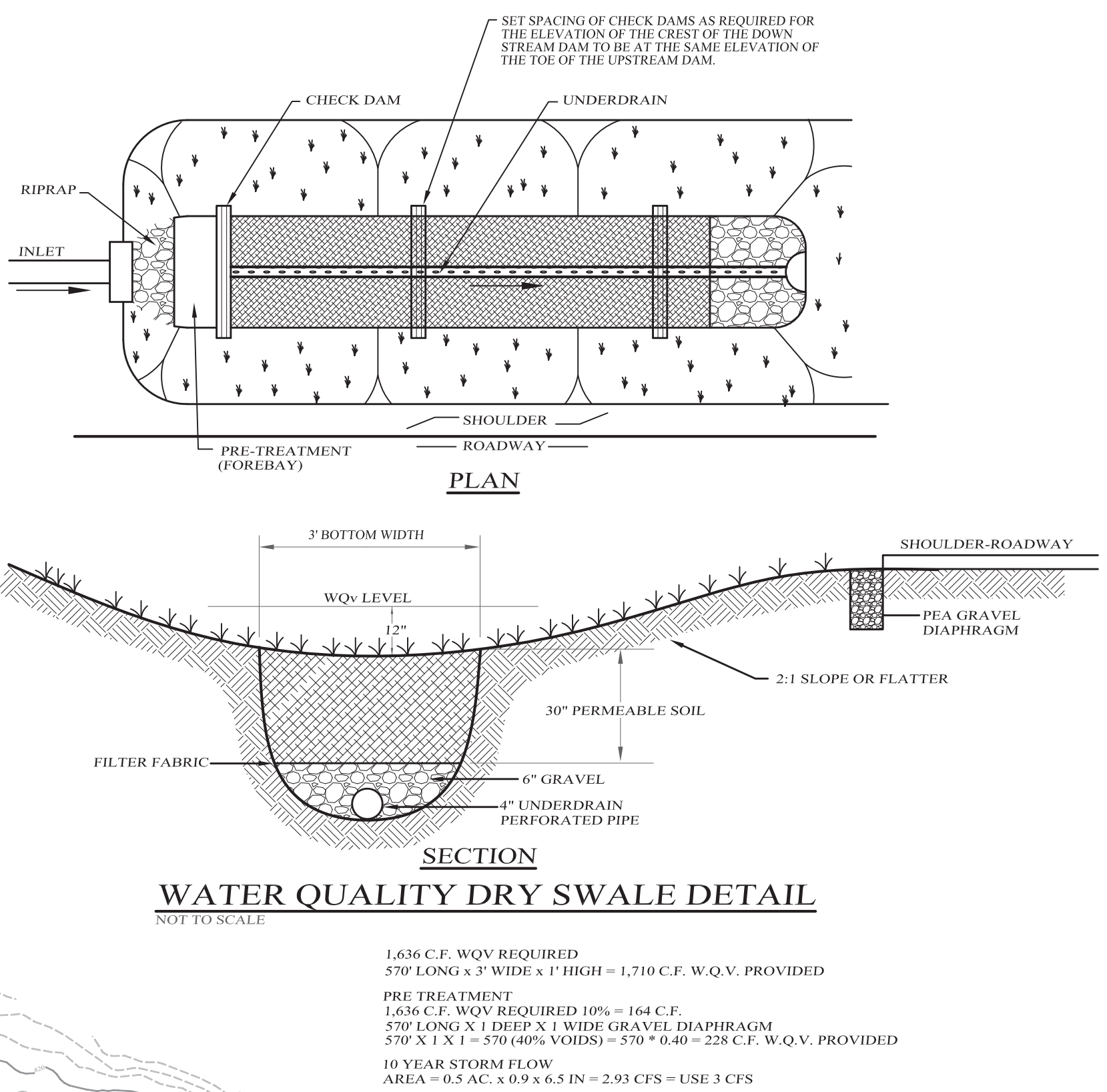
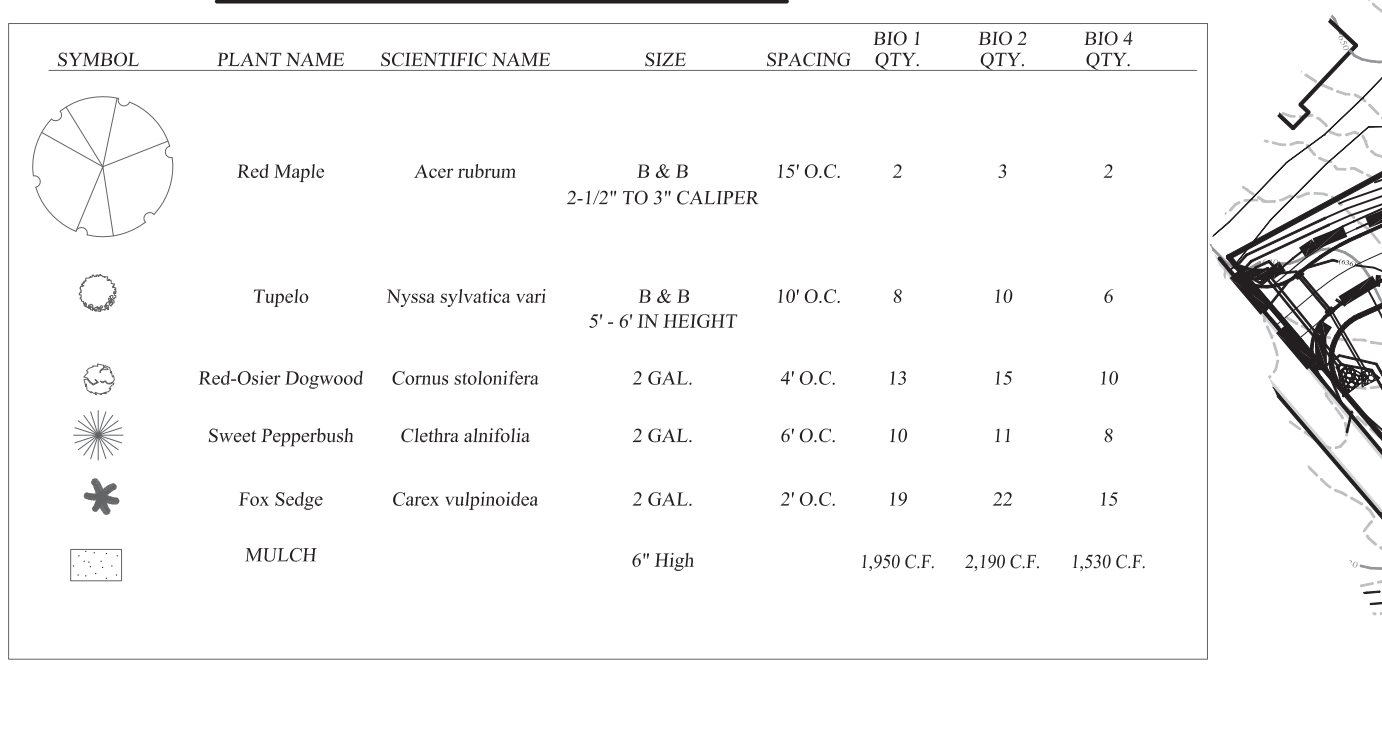
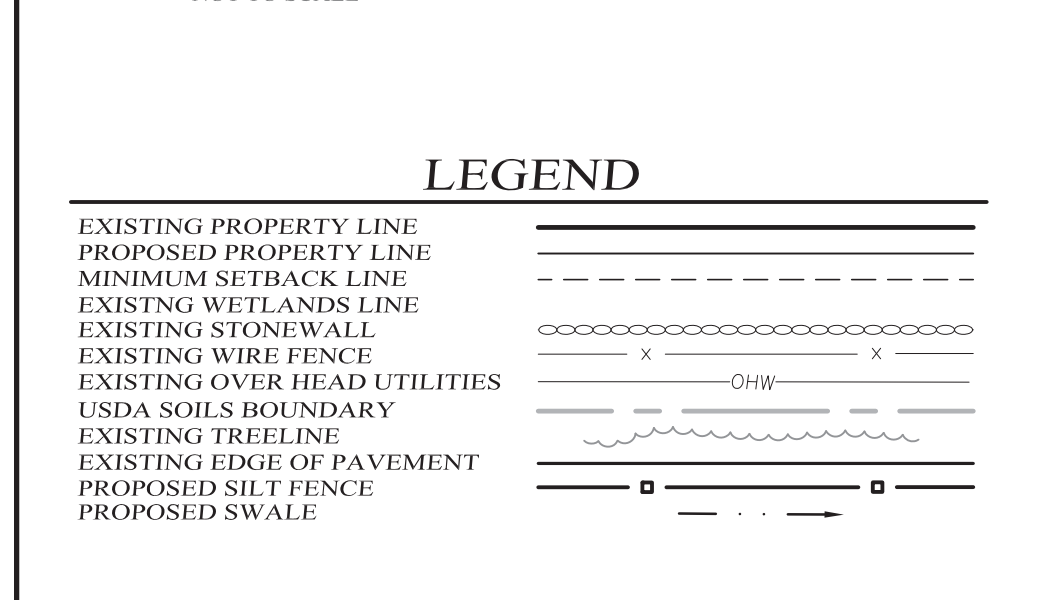
VILLAGE VIEW  
28 LOT  
CLUSTER SUBDIVISION  
VILLAGE OF WARWICK,  
ORANGE COUNTY, NEW YORK







VILLAGE  
DETENTION POND  
DETAILS

KIRK ROTHER, P.E.  
CONSULTING ENGINEER, PLLC  
5 St. Stephens Lane, Warwick, NY 10990  
(845) 988-0620

DATE	REVISIONS	KIRK ROTHER, P.E.	N.Y.S. LIC. NO. 079053	DATE
01-27-20	REV. PER SEIS COMMENTS			
10-28-19	REV. PER ENGINEER'S COMMENTS			
09-13-19	INITIAL PREPARATION			
D.O.T. SHEET #	D.E.C. SHEET #	O.C.H.D. SHEET #	SHEET #	
N.A.	N.A.	N.A.		13 OF 16
CAD # 04170	PROJECT #	SCALE		
CLUS 1-17	04170.0	AS SHOWN		





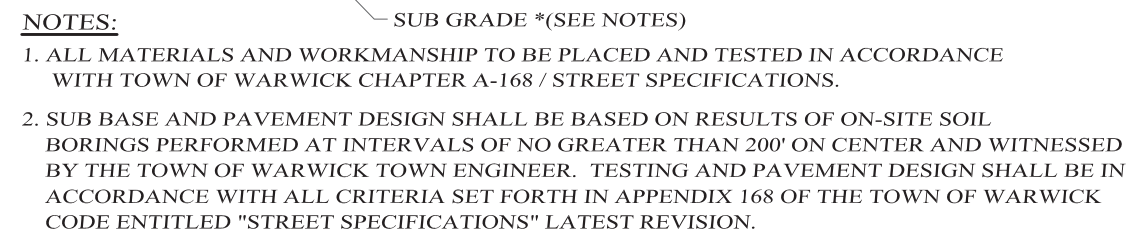
SYMBOL	PLANT NAME	SCIENTIFIC NAME	SIZE	SPACING	BIO 1 QTY.	BIO 2 QTY.	BIO 4 QTY.
	Red Maple	Acer rubrum	B & B 2-1/2" TO 3" CALIPER	15' O.C.	2	3	2
	Tupelo	Nyssa sylvatica vari	B & B 5' - 6' IN HEIGHT	10' O.C.	8	10	6
	Red-Osier Dogwood	Cornus stolonifera	2 GAL.	4' O.C.	13	15	10
	Sweet Pepperbush	Clethra alnifolia	2 GAL.	6' O.C.	10	11	8
	Fox Sedge	Carex vulpinoidea	2 GAL.	2" O.C.	19	22	15
	MULCH		6" High		1,950 C.F.	2,190 C.F.	1,530 C.F.

03-28-22	REV. TO 28 LOT LAYOUT	<div style="text-align: center;"> <h1>KIRK ROTHER, P.E.</h1> <h2>CONSULTING ENGINEER, PLLC</h2> <p>5 St. Stephens Lane, Warwick, NY 10990 (845) 988-0620</p> </div>			
01-27-20	REV. PER SEIS COMMENTS				
10-28-19	REV. PER ENGINEER'S COMMENTS				
09-13-19	ADDITIONAL DESIGN				
02-12-19	REDUCED SCALE ALTERNATIVE				
08-22-18	REV. PER ENGINEER'S COMMENTS				
08-01-18	REV. PER ENGINEER'S COMMENTS				
05-16-18	ADDITIONAL DESIGN				
03-01-18	INITIAL PREPARATION				
DATE	REVISIONS				
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. REPRODUCTIONS OF THIS PLAN WHICH DO NOT BEAR THE ORIGINAL SEAL OF A LICENSED PROFESSIONAL ENGINEER SHALL BE CONSIDERED INVALID.		D.O.T. SHEET # N.A. CAD # 04170 CLUS 1-17	D.E.C. SHEET # N.A. PROJECT # 04170.0	O.C.H.D. SHEET # N.A. SCALE AS SHOWN	SHEET # 14 OF 16









50' WIDE R.O.W.

26' WIDE TRAVEL SURFACE  
(SEE SURFACING SPECIFICATIONS)

6"

4' 4' 13' 13' 5' GRASS SHOULDER

2 1

SIDEWALK  
(SEE DETAIL)

4" STONE BASE TYPE 4

6" CROWN

6" CON. CURB (TYPE  
(SEE DETAIL)

FIRM UNYIELDING SUBGRADE

2" N.Y.S. TYPE 6 HOT MIX TOP COURSE

4" N.Y.S. TYPE 3 HOT MIX BINDER COURSE

8" MIN. STONE BASE AASHTO TYPE A1 OR A3

FILL AREAS TO BE FILLED WITH SOILS MEETING AASHTO TYPE A1 OR A3 CLASSIFICATION AND COMPACTED TO 95% MAX. DENSITY IN 12" LIFTS

GRADE

NOTES:

1. PROVIDE BEDDING UNDER WATER MAIN PER THE PIPE BEDDING & BACKFILL DETAIL.
2. TELESCOPIC VALVE BOX SHALL BE INSTALLED TO GRADE WITH THE WORD "WATER" CAST IN THE COVER. MANUFACTURER AND TYPE SHALL BE IN ACCORDANCE WITH LOCAL WATER AUTHORITY.
3. VALVE SHALL BE PLACED ON A POURED CONCRETE FOOTING OVER FIRM, UNYIELDING SUBGRADE

VALVE

MAIN

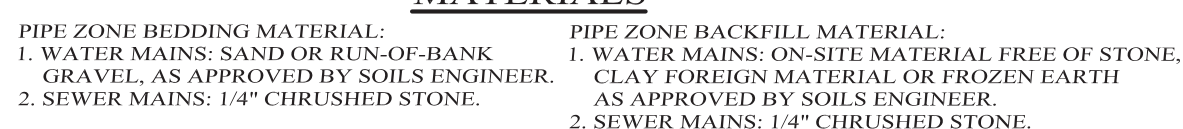
VALVE TO BE MUELLER RESILIENT WEDGE TYPE WITH MECHANICAL JOINT OR AS DIRECTED BY LOCAL WATER AUTHORITY

CONCRETE FOOTING

NOT TO SCALE

WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE LATEST REVISION OF ALL APPLICABLE STANDARDS RELATING TO THE CONSTRUCTION OF WATER WORKS FOR POTABLE CONSUMPTION INCLUDING AWWA, ANSI, ASTM, NSF AND MANUFACTURER, AMONG OTHERS.

**IN-LINE WATER VALVE DETAIL**



**SECTION**

90" TO 14" LIP  
RADIUS EQUAL TO  
HEIGHT OF LIP

CURB

MOUNTABLE  
CURB

RAMP S=1:12 MAX  
S=1:20 DESIRABLE

**PLAN**

48" MIN.

RAMP

MOUNTABLE CURB

MAX. RAMP SLOPE  
NOT TO EXCEED 1 ON 12  
IN ANY DIRECTION  
(DESIRABLE IS 1 ON 20)

NOTE: SIDEWALK

GRADE

NOTES:

1. PROVIDE BEDDING UNDER WATER MAIN PER THE PIPE BEDDING & BACKFILL DETAIL.
2. TELESCOPIC VALVE BOX SHALL BE INSTALLED TO GRADE WITH THE WORD "WATER" CAST IN THE COVER. MANUFACTURER AND TYPE SHALL BE IN ACCORDANCE WITH LOCAL WATER AUTHORITY.
3. VALVE SHALL BE PLACED ON A POURED CONCRETE FOOTING OVER FIRM, UNYIELDING SUBGRADE

THRUST BLOCK

EXIST. MAIN

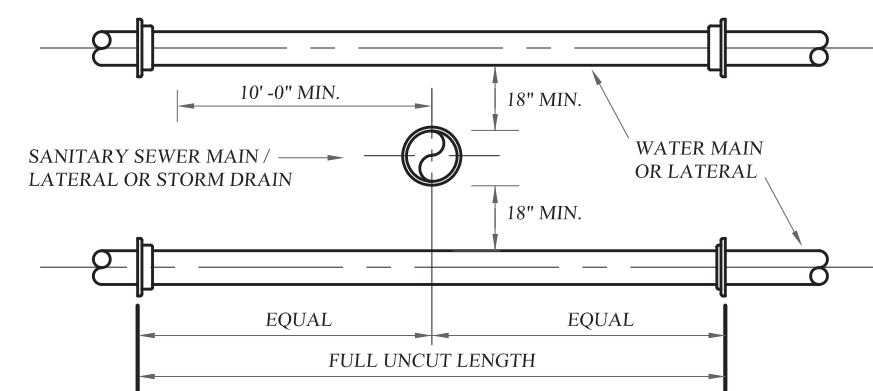
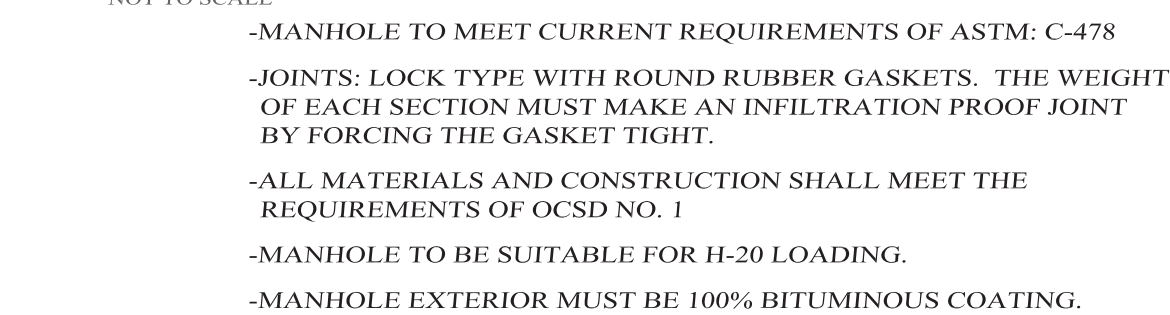
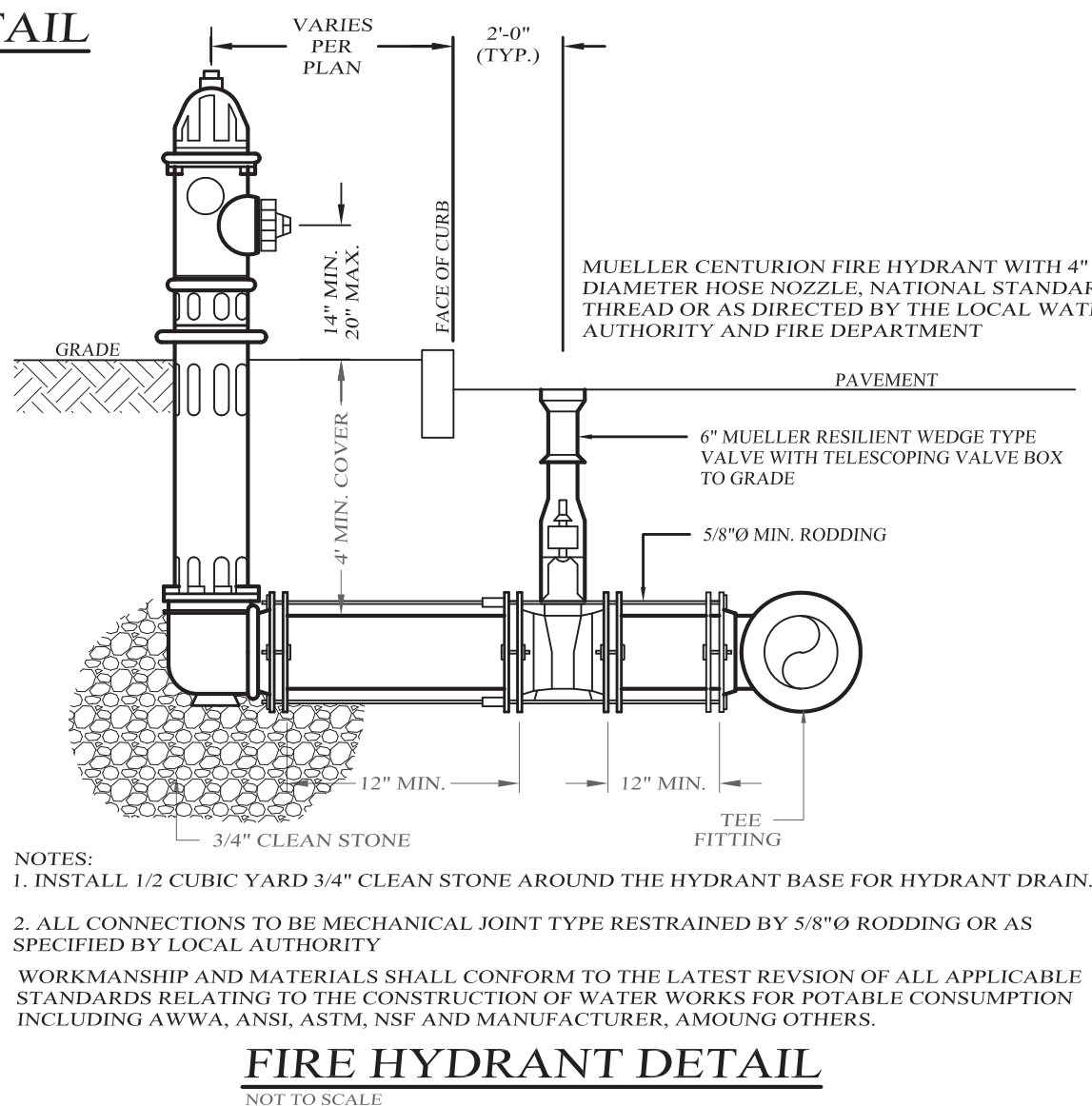
TAPPING VALVE

CONCRETE FOOTING

MECHANICAL JOINT CAST IRON TAPPING SL... TO BE INSTALLED AND PRESSURE TESTED PRIOR TO CUTTING EXISTING WATER MAIN.

VALVE TO BE MUELLER RESILIENT WEDGE TYPE MECHANICAL JOINT TAPPING VALVE OR AS DIRECTED BY LOCAL WATER AUTHORITY WITH TELESCOPING VALVE BOX TO GRADE.

WATER MAIN TAPPING VALVE

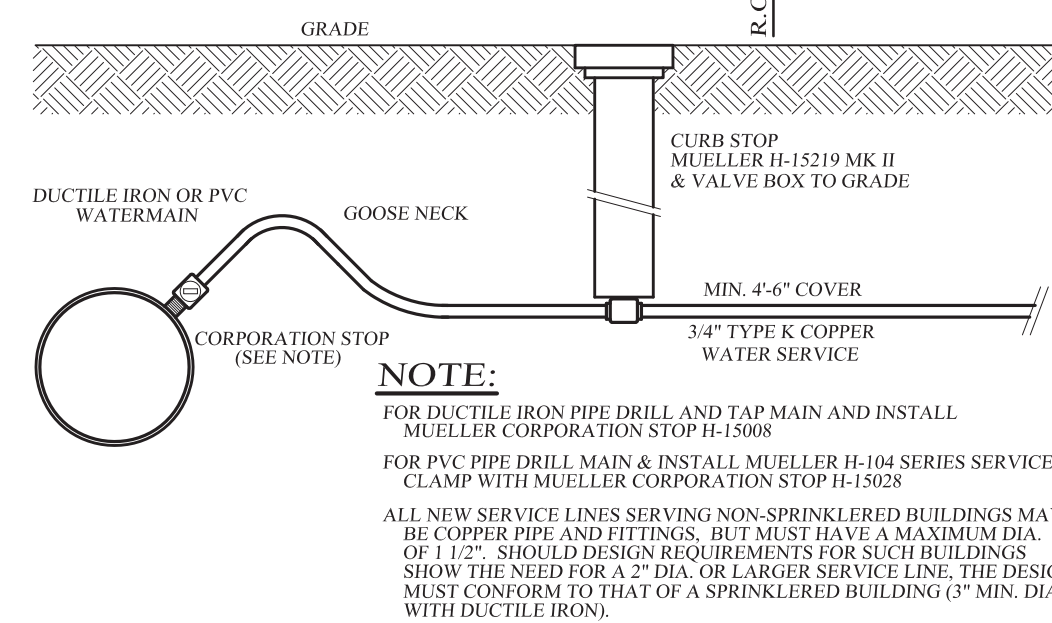


**VERTICAL SEPARATION DETAIL**  
NOT TO SCALE



**NOTES:** THE SEPARATION REQUIREMENT SHALL CONFORM TO CURRENT ORANGE COUNTY DEPARTMENT OF HEALTH STATUTES, CODES, RULES, REGULATIONS AND LAWS AS THEY APPLY. ANY DEVIATION FROM THE ABOVE SEPARATION REQUIREMENTS SHALL REQUIRE WRITTEN APPROVAL FROM THE ORANGE COUNTY DEPARTMENT OF HEALTH.

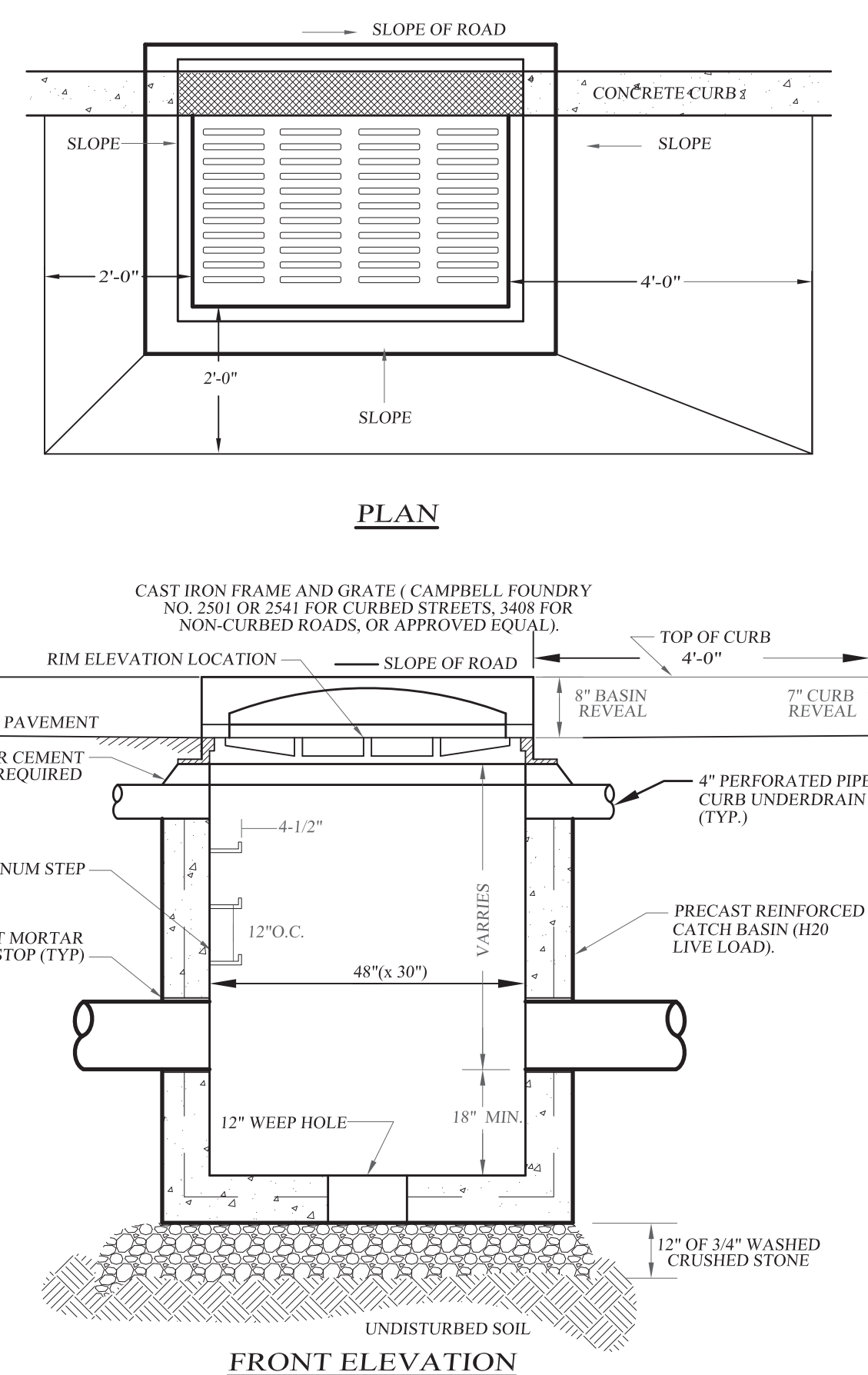
## WATER/SEWER SEPARATION REQUIREMENTS



## WATER SERVICE CONNECTION

NOT TO SCALE

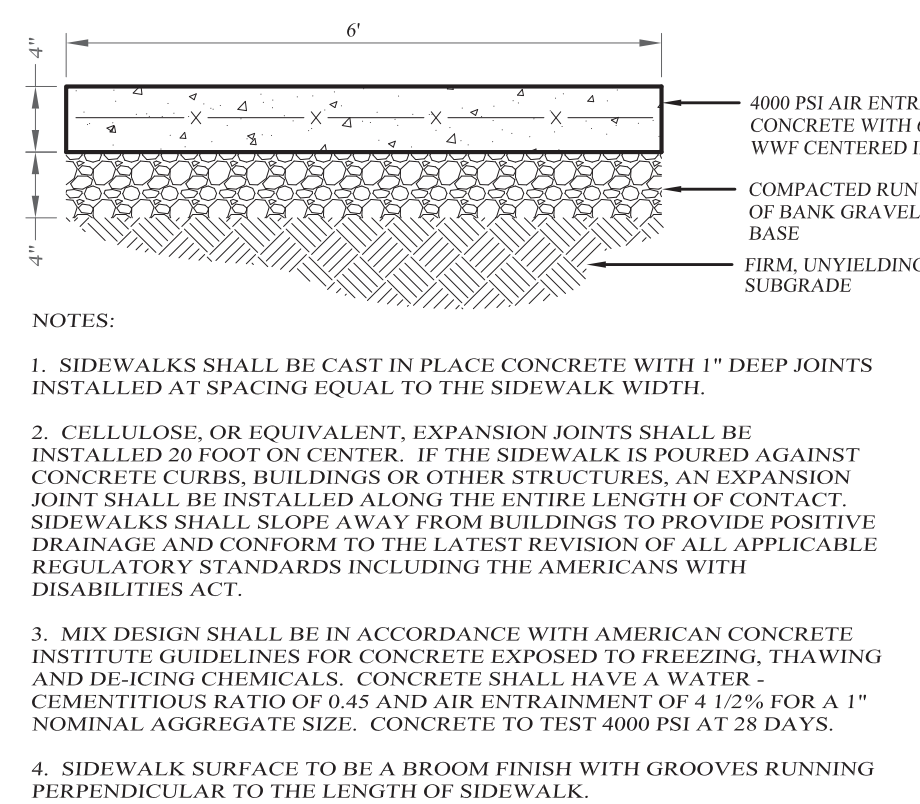
## DETAIL



NOTES:

1. BACKFILL AROUND CATCH BASIN TO BE COMPACTED IN MAX. 8" LIFTS.
2. THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE SURFACE OF CATCH BASIN AND ADEQUATELY MORTARED.
3. PRECAST CONCRETE TO BE 4000 PSI @ 28 DAYS

### PRECAST CONCRETE CURB INLET DETAIL



### CONCRETE SIDEWALK DETAIL

NOT TO SCALE

VILLAGE VIEW  
28 LOT  
CLUSTER SUBDIVISION

VILLAGE OF WARWICK, ORANGE COUNTY, NEW YORK  
PROJECT TITLE

# DETAIL SHEET

DRAWING TITLE

**KIRK ROTHER, P.E.**  
CONSULTING ENGINEER, PLLC

5 St. Stephens Lane, Warwick, NY 10990  
(845) 988-0620

			<b>KIRK ROTHER, P.E.</b> <b>CONSULTING ENGINEER, PLLC</b>	
			5 St. Stephens Lane, Warwick, NY 10990 (845) 988-0620	
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			O.C.H.D. SHEET N.A.	SHEET # SCALE AS SHOWN
				16 OF 16