

LOCATION MAP
SCALE: 1 in. = 150 ft.

BULK TABLE

ZONE: CB - CENTRAL BUSINESS (USE GROUP J)
TAX LOT: 207-3-12

	REQUIRED (MIN)	EXISTING
LOT AREA (SQ.FT.)	5,000	6,156
LOT WIDTH (FT.)	50	40
LOT DEPTH (FT.)	50	155
FRONT YARD (FT.)	*	4
ONE SIDE YARD (FT.)	10	0
REAR YARD (FT.)	10	7
STREET FRONTAGE (FT.)	50	40
SIDE SETBACK (FT.)	10	1
TOTAL SIDE SETBACK (FT.)	10	14
REAR SETBACK (FT.)	10	72
PARKING:		
- SERVICE/RETAIL - 1400 SQ.FT. (2.4 SPACES/1000 SQ.FT. GFA)	3.4	
- 15-1 BDRM @ 15 SP	4.5	
TOTAL PARKING:	7.9	6
	REQUIRED (MAX.)	EXISTING
BUILDING HEIGHT (FT.)	40	<40
BUILDING COVERAGE (%)	40	26.8
DEVELOPMENT COVERAGE (%)	80	81.2

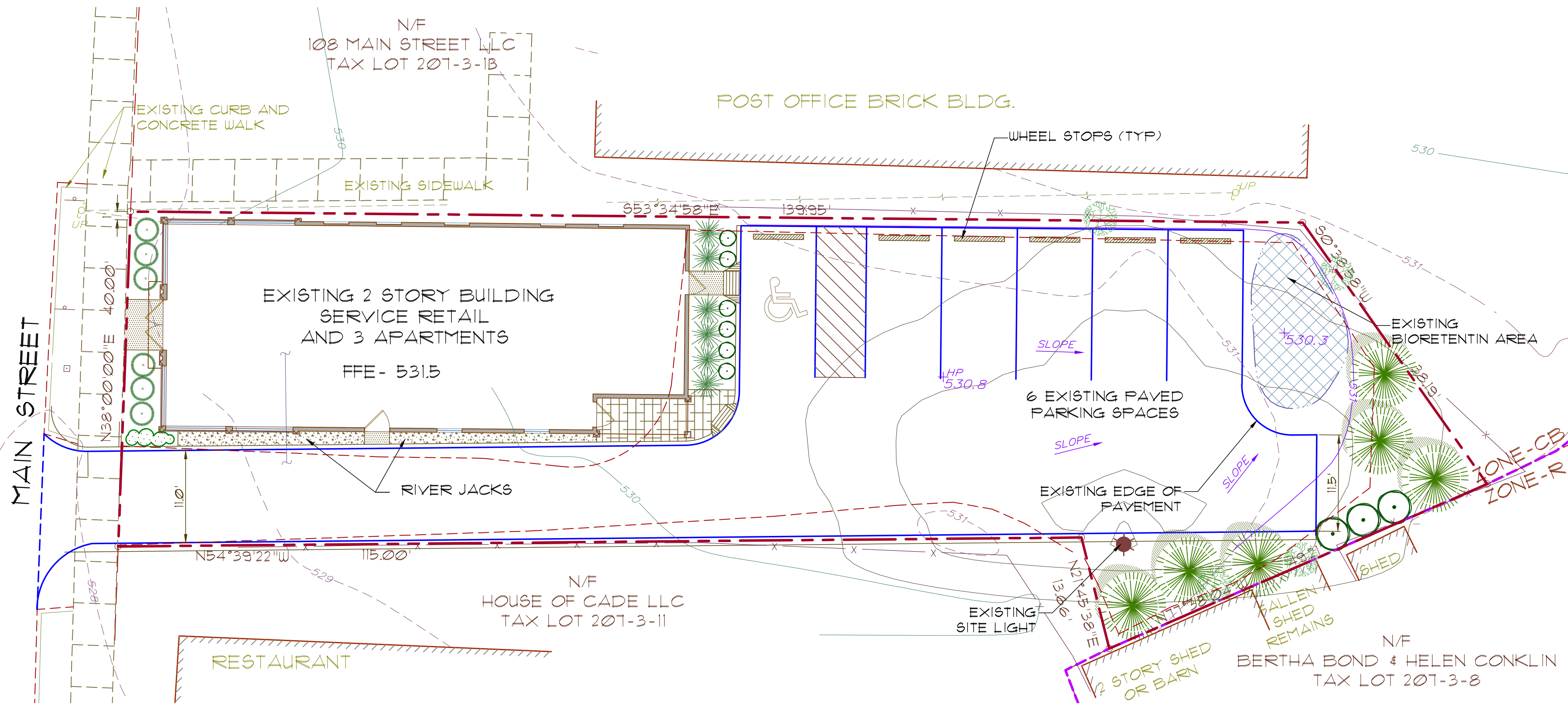
* - THE REQUIRED FRONT SETBACK NEED NOT BE GREATER THAN THE AVERAGE SETBACK OF THE TWO NEAREST NEIGHBORING STRUCTURES LOCATED ON THE SAME SIDE OF THE STREET WITHIN 150 FEET OF THE PROPOSED BUILDING.

APPLICANT:
104 MAIN STREET LLC
104 MAIN STREET
WARWICK, NY 10990

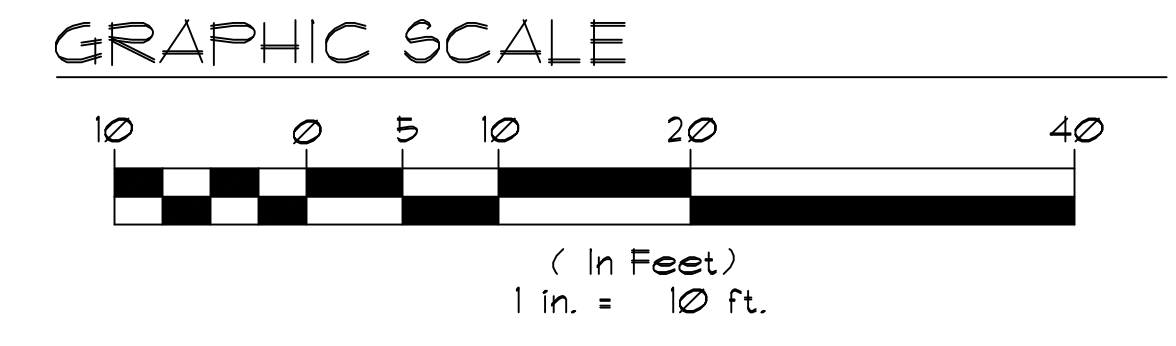


BEFORE YOU DIG, DRILL OR BLAST!
CALL US TOLL FREE
1-800-962-1362
NY INDUSTRIAL CODE RULE 153 REQUIRES NO LESS THAN TWO WORKING DAYS NOTICE, BUT NOT MORE THAN TEN DAYS NOTICE.
UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 1209 (2) OF THE NY'S EDUCATION LAW.
THIS DRAWING IS ONE IN A SET OF DRAWINGS AND IS INCOMPLETE AND INVALID WHEN IT IS SEPARATED FROM THE SET.

APPROVED AS A FINAL SITE PLAN AS RESOLVED BY THE PLANNING BOARD OF THE VILLAGE OF WARWICK ON MAY 16, 2013	
PLANNING BOARD CHAIRMAN	03/23/21 Date of Origin
PLANNING BOARD ENGINEER	Date Description



AMENDED SITE PLAN



GENERAL NOTES

- FOR DIMENSIONS OF BUILDINGS, SEE ARCHITECTURAL DRAWINGS.
- CONTRACTOR IS TO VERIFY EXISTING CONDITIONS ON SITE AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN EXISTING CONDITIONS OR WITHIN THE PLANS PRIOR TO BEGINNING THE WORK.
- ANY DETERMINATION OF "EQUAL" SUBSTITUTION SHALL BE MADE ONLY BY THE LANDSCAPE ARCHITECT.
- PRIOR TO PERFORMING ANY EARTHWORK, THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES. UNDERGROUND UTILITIES ARE NOT SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SAFE CONDITIONS AT ALL TIMES.
- A SEPARATE SIGN PERMIT IS REQUIRED FOR EACH SIGN.

LEGEND

- - - - - EXISTING PROPERTY LINE
- - - - - EXISTING ROADS
- - - - - EXISTING STRUCTURE
- - - - - EXISTING ROADS
- - - - - ADJOINING LOT LINE
- - - - - ZONING DISTRICT LINE
- - - - - EXISTING STRUCTURE
- - - - - EXISTING PAVEMENT
- - - - - EXISTING FENCE

DETERMINATION OF THE ZONING BOARD OF APPEALS OF THE VILLAGE OF WARWICK, NEW YORK

WHEREAS, RIEHLE OPTICIANS, LLC has applied to this Board for a variance of the minimum bulk area requirements of the Code, and WHEREAS, a public hearing on this application was held at 77 Main Street, Warwick, New York on 4/15/13, and WHEREAS, at said hearing(s) all interested persons were given an opportunity to be heard, the Board finds as follows:

FINDINGS OF FACT

- Applicant is the contract purchaser for property owned by Roderick L. Peck and located at 104 Main Street, Warwick, New York, designated on the Village tax map as Section 207 Block 3 Lot 12.
- The application has been made for a variance of the Zoning Law permitting the razing of an existing building and constructing a new building in approximately the same location with the following required / proposed bulk dimensions: lot width: 50 feet / 40 feet; 1 side yard: 10 feet / 0 feet; rear yard: 10 feet / 7 feet; street frontage: 50 feet / 40 feet; side setback: 10 feet / 1 foot; parking: 7.9 or 8 / 6 vehicles.
- An inspection of the site, and the evidence and testimony as summarized from the meeting(s) show that:
 - An undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variances. The existing building which is not structurally sound will be razed and a new building approved by the Architectural Board will be built on essentially the same footprint.
 - The benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than the variances. The existing structure cannot be repaired.
 - The requested variances are numerically substantial. However, the new building will be built on essentially the same footprint.
 - The proposed variances will not have an adverse effect or impact upon the physical or the environmental conditions in the neighborhood or district.
 - The alleged difficulty was self created.
 - These area variances should be granted based upon a consideration of the benefit to the applicant as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant.
 - The minimum variances necessary and adequate and at the same time, will preserve and protect the character of the neighborhood and the health, safety and welfare of the community have been requested.
- The proposed action is an Unlisted action and will not result in any significant adverse environmental impact for the reasons hereinbefore set forth.

NOW, THEREFORE, BE IT RESOLVED, that it is determined, based on the information and analysis presented to the Board, that the proposed action will not result in any significant adverse environmental impact.

The foregoing resolution was submitted by John Graney and seconded by John MacDonald

	For the Resolution	Against the Resolution	Abstaining	Absent
John Graney, Chairman	X			
John Prego	X			
Wes Burley	X			
Matthew Blaskovich	X			
John MacDonald	X			

NOW, THEREFORE, BE IT RESOLVED, that the application for a variance of the minimum bulk area requirements of the Code permitting the razing of an existing building and constructing a new building in approximately the same location with the following required / proposed bulk dimensions: lot width: 50 feet / 40 feet; 1 side yard: 10 feet / 0 feet; rear yard: 10 feet / 7 feet; street frontage: 50 feet / 40 feet; side setback: 10 feet / 1 foot; parking: 7.9 or 8 / 6 vehicles be granted.

The foregoing resolution was submitted by John MacDonald and seconded by Wes Burley

	For Resolution	Against Resolution	Abstaining	Absent
John Graney, Chairman	X			
John Prego	X			
Wes Burley	X			
Matthew Blaskovich	X			
John MacDonald	X			

Dated: Warwick, New York
April 15, 2013

John Graney
JOHN GRANEY, Chairman

Unless construction is commenced and diligently prosecuted within 6 months of the date of the granting of the variances, such variances shall become null and void. Construction cannot commence until a building permit is issued.

ESPOSITO & ASSOCIATES
262 GREENWICH AVENUE
GOSHEN NY, 10924
845.234.0550 Fax 845.234.0550

ESPOSITO
ARCHITECT
Matthew Esposito
Signature

RIEHLE OPTICIANS, LLC
VILLAGE OF WARWICK
Project Title: Tax Map: 207-3-12

AMENDED SITE PLAN

DRAWING TITLE:
Unauthorized alteration or addition to a plan bearing a Licensed Land Surveyor's or Professional Engineer's seal is a violation of section 1209, subdivision 2 of the NY State Education Law.

Scale: 1"=10'	Drawing No.: S-1	Project No.: 2210101
CAD Reference: dwg	O.C.H.D. Sheet No.: of	D.E.C. Sheet No.: of