77 Main Street Post Office Box 369 Warwick, NY 10990 www.villageofwarwick.org



(845) 986-2031 FAX (845) 986-6884 mayor@villageofwarwick.org clerk@villageofwarwick.org

#### VILLAGE OF WARWICK INCORPORATED 1867

## Village of Warwick Village Board Meeting – September 8, 2021

Pursuant to Chapter 417 of the Laws of 2021 permitting local governments to hold meetings remotely and take such actions authorized by law without allowing the public to be physically present at the meeting due to safety concerns related to the delta variant of COVID-19, the Village of Warwick Village Board meetings will be conducted virtually through Zoom Videoconference until further notice or until the expiration of the law on January 15, 2022.

#### To View the Meeting:

**YOUTUBE LIVE** - The public may view the meeting live by the public on the Village of Warwick, NY YouTube channel: https://www.youtube.com/channel/UCK7D7KGbZF6nYfbcWGH6-VA

**VILLAGE'S WEBSITE** – The public may view the meeting a day or so after its completion by going to the village's website: <u>www.villageofwarwick.org</u>

#### To Comment - During Privilege of the Floor Only:

**VIA EMAIL OR MAIL** - Comments may be sent to the Village Board prior to the Village Board Meeting via email to: <u>clerk@villageofwarwick.org</u> or via mail: Village of Warwick, Attn: Village Clerk, P.O. Box 369, Warwick, NY 10990. Please indicate in your correspondence that you wish to have your comments read during privilege of the floor.

#### BOARD OF TRUSTEES VILLAGE OF WARWICK SEPTEMBER 8, 2021 AGENDA

#### Call to Order Pledge of Allegiance Roll Call

- 1. Introduction by Mayor Newhard.
- 2. Acceptance of Minutes: August 16, 2021 & August 25, 2021.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Lindberg \_\_\_\_ Trustee Bachman \_\_\_\_

Trustee McManus \_\_\_\_ Mayor Newhard \_\_\_\_

3. Authorization to Pay all Approved and Audited Claims in the amount of \$\_\_\_\_\_.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Lindberg \_\_\_\_ Trustee Bachman \_\_\_\_

Trustee McManus \_\_\_\_ Mayor Newhard \_\_\_\_

#### Announcements

1. 9/11 Remembrance Ceremony and Memorial Sculpture Garden Dedication.

#### **Correspondence**

1. Letter from Daniel Griffiths, P.E. requesting to renew the 2005 Village of Warwick Special Use Permit in order to construct two proposed additions to St. Anthony Community Hospital.

#### **Privilege of the Floor**

**VIA EMAIL OR MAIL** - Comments may be sent to the Village Board prior to the Village Board Meeting via email to: clerk@villageofwarwick.org or via mail: Village of Warwick, Attn: Village Clerk, P.O. Box 369, Warwick, NY 10990. Please indicate in your correspondence that

you wish to have your comments read during privilege of the floor. Please limit your comments to **three (3) minutes**.

#### **Motions**

#### **Trustee Cheney's Motions:**

1. **MOTION** to approve and authorization for the Mayor to sign Change Order No. 1E for the UV Disinfection Project Electrical Contract with O'Connell Electric Company, Inc. providing for a decrease of \$13,269.50 in the contract amount yielding a new contract amount of \$84,915.50 as recommended by Barton & Loguidice.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Lindberg \_\_\_\_ Trustee Bachman \_\_\_\_

Trustee McManus \_\_\_\_ Mayor Newhard \_\_\_\_

2. MOTION to grant permission to the Warwick Valley VFW Post 4662 and American Legion Post 214 to install a 'Thank You for Visiting' sign on the back of the Veterans Memorial Monument located in Veterans Memorial Park. Sign to be purchased by the VFW and American Legion. The Village of Warwick will reimburse the American Legion Post 214 in the amount of \$30 to defer the total cost of the sign. Sign to be installed by the Village of Warwick Department of Public Works.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Lindberg \_\_\_ Trustee Bachman \_\_\_\_

Trustee McManus \_\_\_\_ Mayor Newhard \_\_\_\_

3. **MOTION** to approve the purchase of a 12' Long Tilt Trailer, 6900 LB GVW from Hudson River Truck & Trailer in the amount of \$4,901 per the recommendation of DPW Supervisor, Mike Moser. Purchase that will be funded under budget code A.5110.2350.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Lindberg \_\_\_\_ Trustee Bachman \_\_\_\_

Trustee McManus \_\_\_\_ Mayor Newhard \_\_\_\_

#### **Trustee McManus' Motions:**

4. **MOTION** to amend the Village of Warwick Summer Concert Series calendar to replace the NY Wind Symphony with the New York Swing Exchange on September 11, 2021, as per the request of the Summer Concert Coordinator, William Iurato.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Lindberg \_\_\_\_ Trustee Bachman \_\_\_\_

Trustee McManus \_\_\_\_ Mayor Newhard \_\_\_\_

5. **MOTION** to grant permission to Highlander Rugby to use the football field between the parking lot and Over 25 Field in Memorial Park for practices on Tuesday and Thursday from 7:00 p.m. to 9:00 p.m. from September 9, 2021, through November 30, 2021. Event is in coordination with Warwick Youth Football. All activities must be in accordance with the Orange County and NYS Departments of Health. Completed Park permit, proof of proper insurance, and security deposit have been received. It is the responsibility of Highlander Rugby to enforce that parking is in the designated parking lot and not in the grass on the entrance roads.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Lindberg \_\_\_\_ Trustee Bachman \_\_\_\_

Trustee McManus \_\_\_\_ Mayor Newhard \_\_\_\_

6. **MOTION** to waive the thirty (30) day notice requirement of the filing of a New York State Liquor License Application for The Fed of Warwick Ldt. affecting property owned by Pradera Reality, located at 30 Main Street, Warwick, NY.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Lindberg \_\_\_\_ Trustee Bachman \_\_\_\_

Trustee McManus \_\_\_\_ Mayor Newhard \_\_\_\_

7. **MOTION** to grant permission to the Warwick Valley Central School District to hold a Homecoming Parade on Saturday, October 9, 2021, beginning at 11:30 a.m. as per their letter dated August 23, 2021. Proper insurance is on file. Warwick Police Department will assist with the event.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Lindberg \_\_\_\_ Trustee Bachman \_\_\_\_

Trustee McManus \_\_\_\_ Mayor Newhard \_\_\_\_

**Final Comments from the Board** 

**Executive Session (if applicable)** 

Adjournment





# WARWICK HONORS

THOSE WHO LOST THEIR LIVES & THOSE WHOSE LIVES WERE CHANGED FOREVER ON THIS DAY 20 YEARS AGO

# Saturday, September 11, 2021

9/11 REMEMBRANCE CEREMONY

## 5:00 PM

presented by the

## **Warwick Fire Department**

Veterans Memorial Park Forester Avenue, Warwick, NY



9/II MEMORIAL SCULPTURE GARDEN DEDICATION

## 6:00 PM

Followed by Music presented by the

## The Village of Warwick

Stanley Deming Park Access off of Park Place



13 S. Washington Street, Suite 1 Binghamton, NY 13903

Office: 607-724-2400 Fax: 607-724-2436 Web: www.griffithsengineering.com

August 31, 2021

Mayor Michael Newhard & Village Board of Trustees 77 Main St. Warwick, NY 10990

Dear Mayor Michael Newhard & Village Board of Trustees:

St. Anthony Community Hospital is looking to complete two new building additions.

The O.R. addition is 2,700 s.f., one story, with the exterior matching the existing stone veneer.

The Radiology addition is 3,500 s.f., one story with the exterior matching the existing brick / limestone veneer.

Please note that the hospital's entrances, exits, parking and interior car circulation will not change due to these additions.

Attached please find PDFs of the plans for these additions.

We request to be placed on the agenda for your September 8, 2021 Town Board meeting to discuss the possibility of renewing the previously-issued special use permit to construct these additions.

St Anthony Community Hospital is a five story, Type II (222) Fire Resistive Structure, Partially Sprinklered (areas to be upgraded as renovations are undertaken). Renovation work shall not alter the existing life safety egress plans, fire separations or smoke compartments. The addition will be based upon the 2020 Building Code of New York State, 2020 Existing Building Code Of New York State, 2017 ICC/ANSI A117.1, 2010 ADA Standards for Accessible Design, 2012 NFPA 101 "Life Safety Code", Chapter 18 New Health Care, and the Guidelines for Design and Construction of Healthcare Facilities, 2018 Edition.

If you have any questions, please feel free to contact me on my cell at 607-237-8131.

Sincerely Yours,

mffithe

Daniel Griffiths, P.E.



AUG 31 2021

VILLAGE OF WARWICK VILLAGE CLERKS OFFICE

#### Village of Warwick

#### Resolution Authorizing Special Use Permit St. Anthony Hospital Expansion

#### Date October 3, 2005

「日本のない」を見たいで、

George and

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WHEREAS, the Village Board of Trustees of the Village of Warwick has received an application for a Special Use Permit from St. Anthony's Hospital, located in the Apartment/Office District at 15 Maple Avenue, Warwick, New York 10990; and

WHEREAS, the Village Board of Trustees, pursuant to 6 NYCRR 617.6 of SEQR, declared its intent to be Lead Agency for the proposed action, duly circulated to all Involved Agencies on  $\frac{5/19/05}{10/3}$  and was designated the SEQR Lead Agency for the review of the proposed action on  $\frac{10/3/05}{10/3}$ ; and

WHEREAS, the Project Sponsor submitted a Full Environmental Assessment Form (EAF) Part 1 dated March 4, 2005; and

WHEREAS, the Village Board of Trustees has reviewed the Part 1 EAF, completed the Part 2 and Part 3 EAF, and has concluded that environmental effects of the proposed project will not exceed any of the Criteria for Determining Significance found in 6 NYCRR 617.7(c) and issued a Negative Declaration on  $\frac{10/3/05}{2}$ ; and

WHEREAS, the Village Board of Trustees held a Public Hearing on  $\frac{7/18/05}{9/19/05}$ , and  $\frac{9/19/05}{9/19/05}$ , at which time members of the public were invited to comment on the application; and

WHEREAS, the Village Board of Trustees considered the general conditions, as described below, for the issuance of a Special Use Permit specified in § 145-120 of the Village Zoning Ordinance:

- 1 The proposed use shall be of such a location, size and character that it will be in harmony with the appropriate and orderly development of the district in which it is proposed to be situated and not be detrimental to eh site or adjacent properties in accordance with the zoning classification of such properties.
- 2 The location and size of such use, the nature and intensity of operations involved in or conducted in connection therewith, its site layout and its relation to access streets shall be such that both pedestrian and vehicular traffic to and from the use and the assembly of persons in connection therewith will not be hazardous.
- 3 The location and height of buildings, the location, nature and height of walls and fences and the nature and extent of landscaping on the site shall be such that the use will not hinder or discourage the development and use of adjacent

• The proposed use will not require such additional public facilities or services, or create such fiscal burdens upon the Village greater than those which characterize uses permitted by right; and

WHEREAS, the Village Board of Trustees has concluded the proposed action satisfies the general standards of § 145-120 for a Special Use Permit; and

WHEREAS, the Village Board of Trustees has reviewed the specific special conditions for the issuance of a Special Use Permit found in § 145-120G, and establishes the following conditions:

- The right of entry shall be provided for inspection, upon reasonable notice, to determine compliance with conditions of said permit.
- Time limitation? \* three years from October 3, 2005
- Other conditions?

NOW THEREFORE BE IT RESOLVED, that the Village Board of Trustees of the Village of Warwick hereby adopts this Resolution of Special Use Permit Approval for the project known as St. Anthony Hospital Expansion.

On a motion by <u>Trustee Metzger</u>, seconded by <u>Trustee Iurato</u> \_\_\_\_\_, and a vote of <u>5</u> for, and <u>0</u> against, and <u>0</u> absent, this resolution was adopted on <u>October 3, 2005</u>.

Michael J. Newhard, Mayor

Cc: Leah Cerkvenick, Bon Secours Charity Health System George Aulen, Chairman, Village of Warwick Planning Board Chair, Village of Warwick Zoning Board of Appeals Michael Meth, Esq. Michael Murphy, PE Others?

#### 617.7

#### State Environmental Quality Review (SEQR)

#### Negative Declaration

#### Notice of Determination of Non-Significance

Date of Adoption: October 3, 2005

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Act) of the Environmental Conservation Law.

The Village of Warwick Board of Trustees, as Lead Agency, has determined that the proposed action described below will not have a significant effect on the environment and a Draft Environmental Impact Statement will not be prepared.

Name of Action: St. Anthony Community Hospital Expansion

SEQR Status:	Type I	$\square$
•.	Unlisted	

Conditioned Negative Declaration:

YES NO

**Description of Action:** The applicant, Bon Secours Charity Health System, proposes a 10,500 square foot addition to the existing hospital facilities to serve as a new outpatient care facility. Modifications to site include reconfiguring existing parking as required by the American with Disability Act for handicap access and associated utility improvements. The site is located in the Apartment/Office Zoning District.

Location: Maple Avenue, Village of Warwick, Orange County, NY

#### **Reasons Supporting This Determination:**

- 1. The Village of Warwick Board of Trustees has given due consideration to the subject action as defined in 6 NYCRR 617.2(b) and 617.3(g).
- 2. After reviewing the Full Environmental Assessment Form (EAF) for the project dated March 4, 2005, the Village Board has concluded that environmental effects of the proposed project will not exceed any of the Criteria for Determining Significance found in 6 NYCRR 617.7(c).

St. Anthony Community Hospital Exapansion Negative Declaration

I

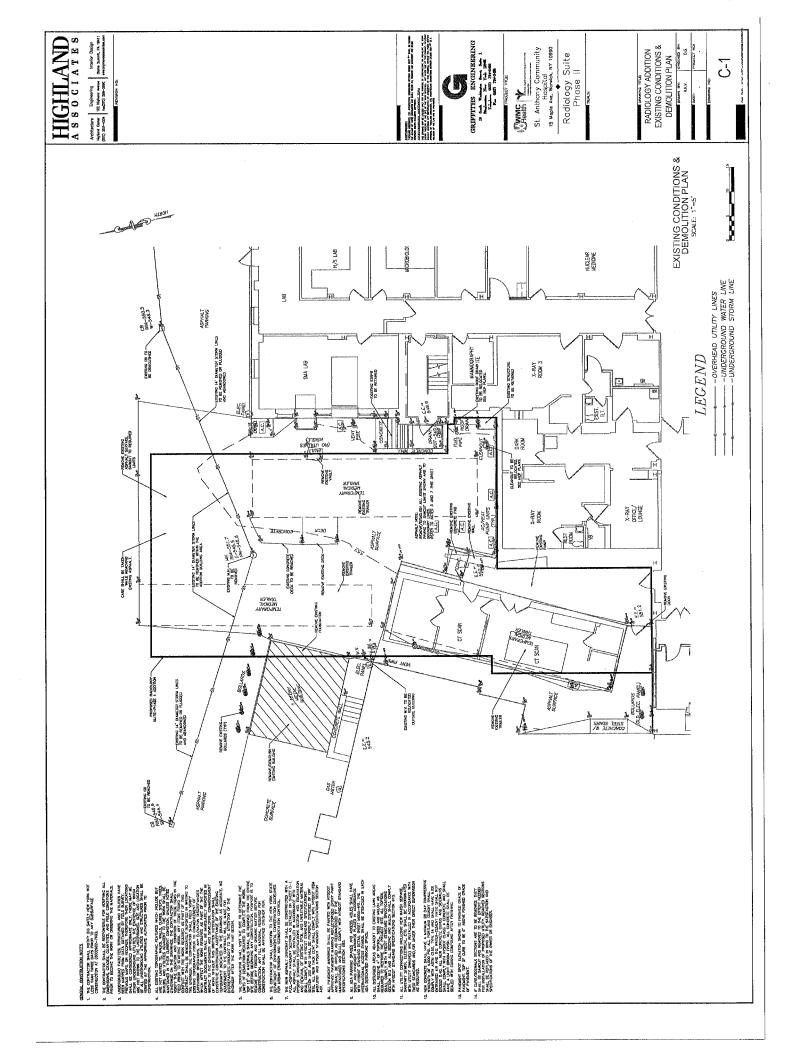
3. The applicant conducted a traffic impact study to examine potential impacts resulting from the proposed expansion. This study used a standard traffic assessment methodology, and traffic counts were conducted to determine existing peak hour traffic volumes for Route 94 (Maple Avenue) and Grand Street. Additionally, existing traffic generated by the hospital was collected for a 24 hour period. Trip generation rates were based upon the Institute of Engineer's Trip Generation Manual and level of service analysis was conducted in accordance with Transportation Research Board Highway Capacity Manual under No Build and Future Build conditions.

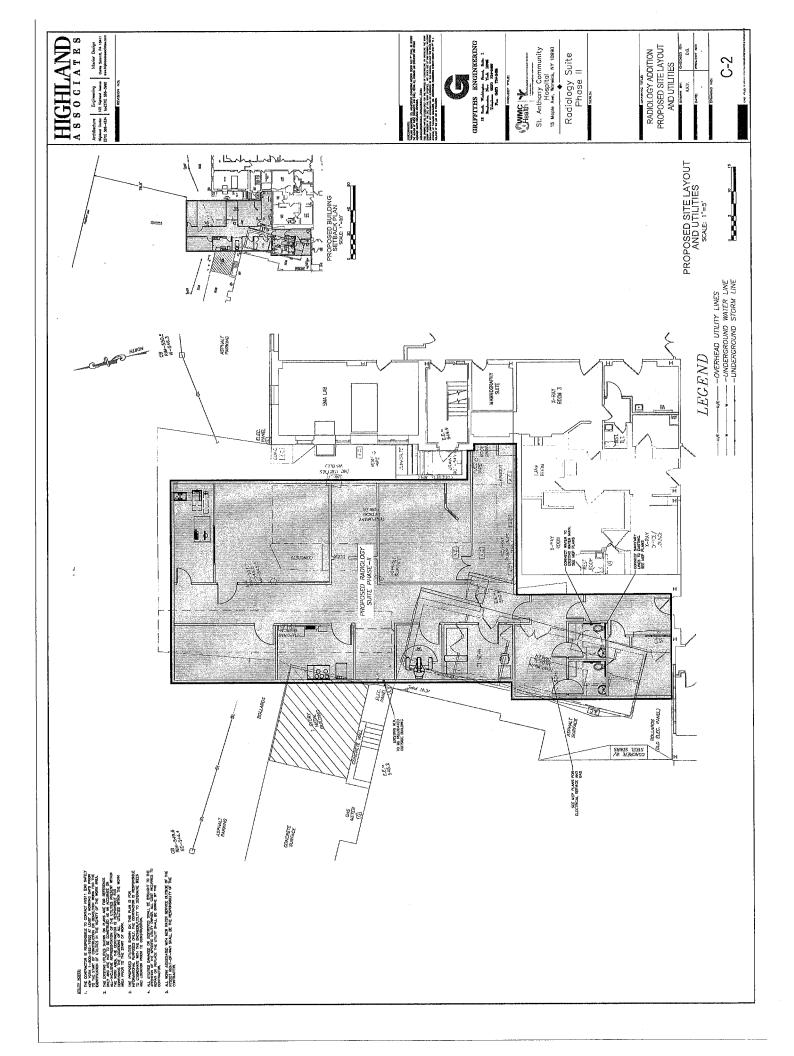
The expansion of the hospital would not increase the number of beds and would relocate the same day surgery facilities currently within the hospital to the expansion area. Additionally, the hospital recently relocated a Woman's Imaging Center to an off-site location. As a result of these factors, the traffic impact study concluded there would be no additional trips generated as a result of the action and in fact, there may be a slight decrease. However, using a conservative approach of assuming the hospital services remained the same and adding the expansion, the study further concluded that there would seven (7) trips entering the site and two (2) exiting during the peak AM hour. In the peak PM hour, there would be three (3) trips entering and six (6) exiting. The level of service analysis showed there would be little impact to the level of service at the intersection of Route 94 and Grand Street or Grand Street and the hospital main entrance. Thus no adverse impacts on transportation are anticipated and no mitigation is necessary.

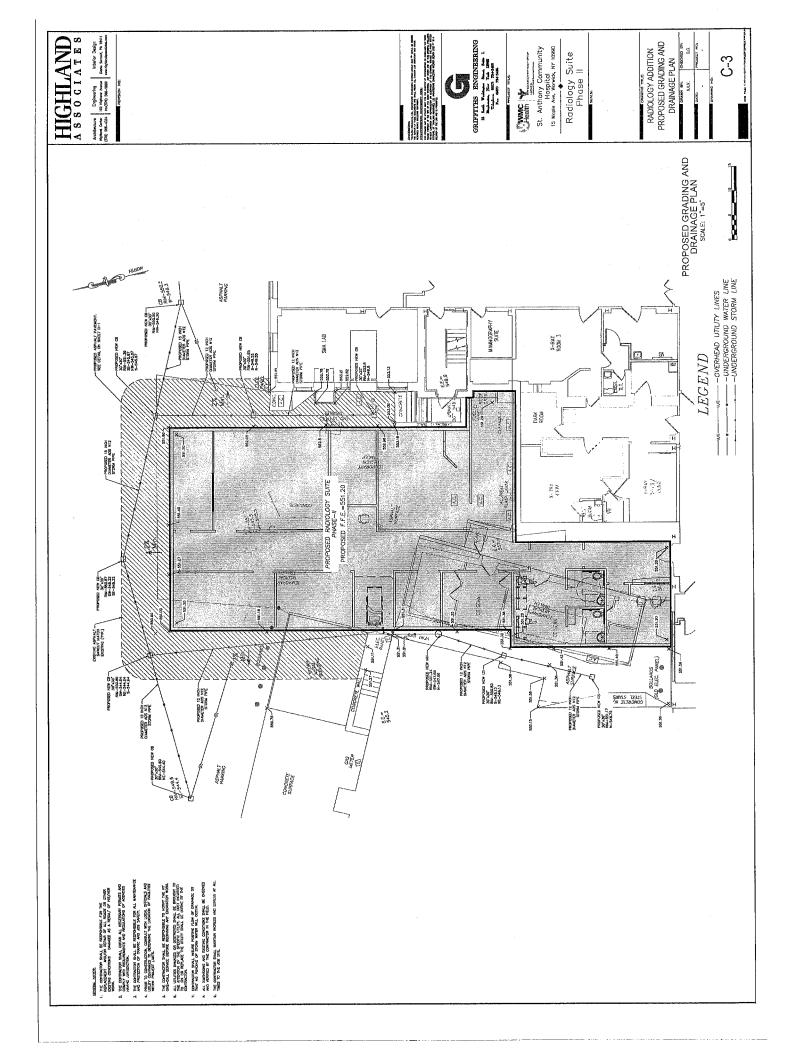
- 4. The Village Engineer has reviewed the conceptual layout of the proposed expansion and has noted it will cause less than one (1) acre of ground disturbance. This falls under the threshold for a New York State Department of Environmental Conservation storm drainage permit GP-02-01 and it is anticipated that an individual permit will not be required. If, as the site plan undergoes review by the Village Planning Board, it is determined more than one (1) acre of disturbance will occur, the applicant will be required to obtain a DEC storm drainage permit. No adverse impacts on water resources have been identified and therefore no mitigation is warranted.
- 5. The existing hospital lies within the Village Historic District and is listed on the State and National Register of Historic Places. The Village of Warwick Architectural and Historic Review Board has reviewed the application and has approved the proposal with respect to architectural design. Additionally, the expansion would occur on the site in a location that has been previously disturbed by construction. Thus, it is unlikely that any areas of archaeologic significance of concern remain at this location. If additional information is made available regarding historic or prehistoric resources, the Village Board of Trustees is obligated to review the information and take necessary action to ensure appropriate measures are taken to preserve historic and archaeological resources.
- 6. The United States Fish and Wildlife Service (USFW) and the New York State Department of Environmental Conservation Natural Heritage Program has indicated the potential presence of Indiana Bat in the vicinity. The USFW has also indicated that the project will not potentially harm to the threatened or endangered species of bat provided that no that no trees greater than nine inches in diameter shall be removed between March 30 and October 1. Thus no impacts to rare, threatened or endangered species are anticipated, and no mitigation is necessary.

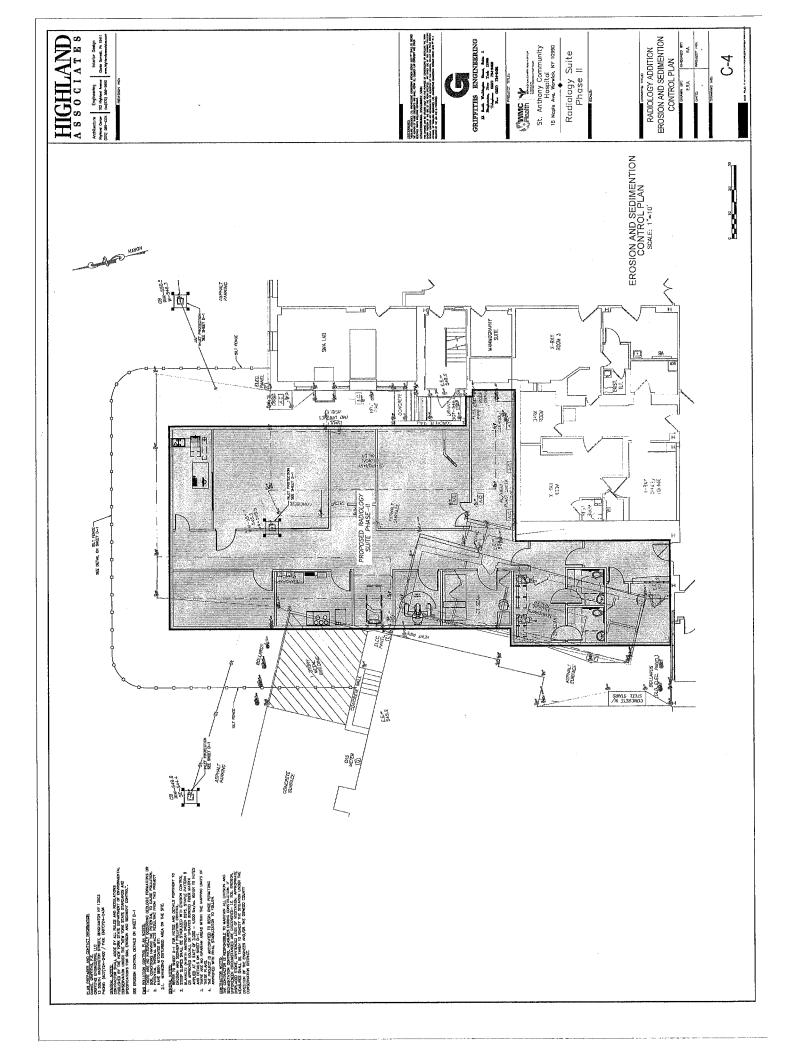
#### St. Anthony Community Hospital Exapansion Negative Declaration

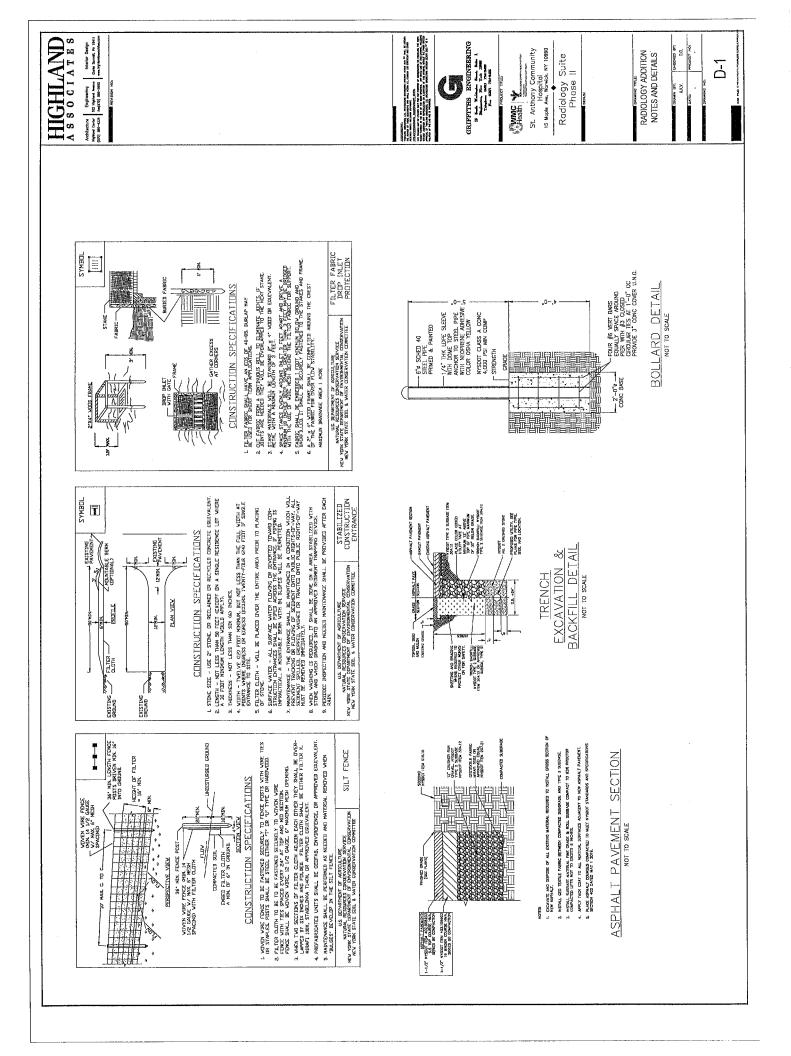
Page 2

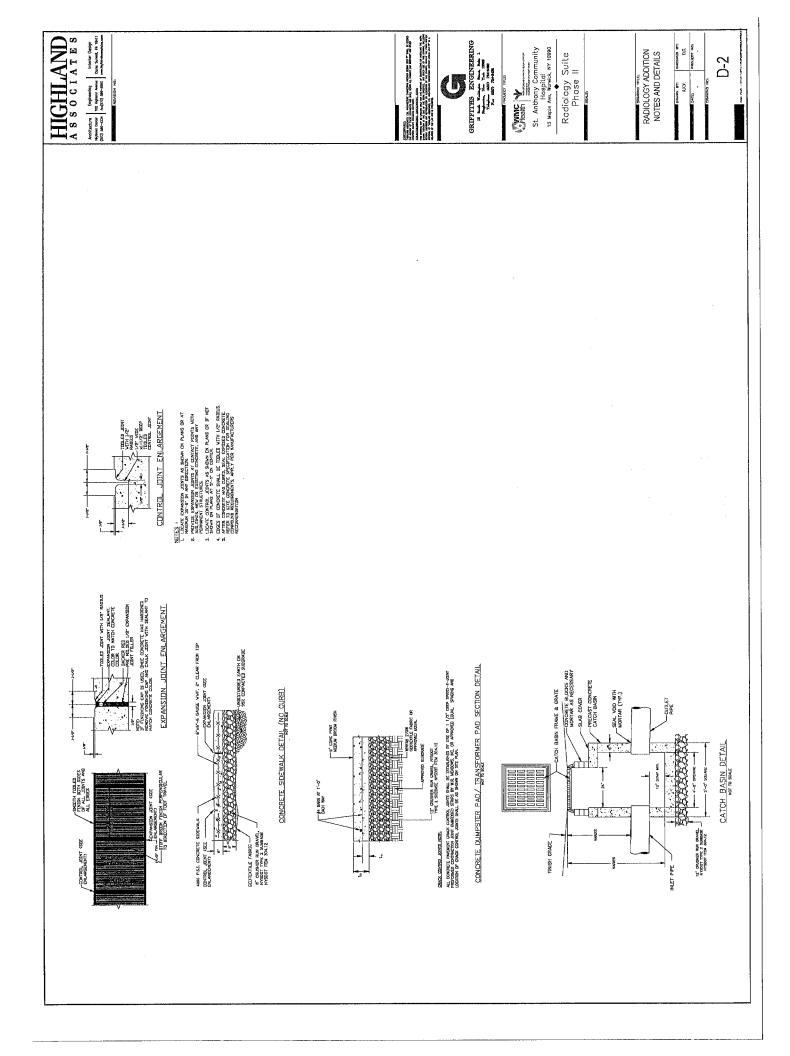


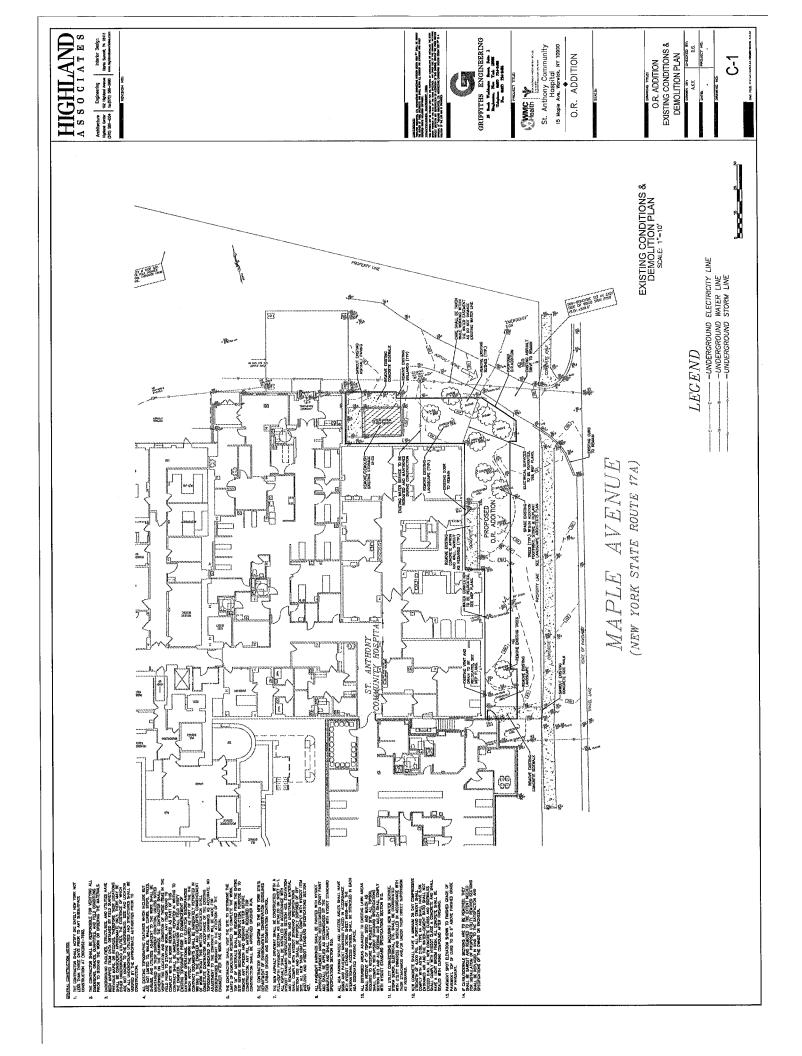


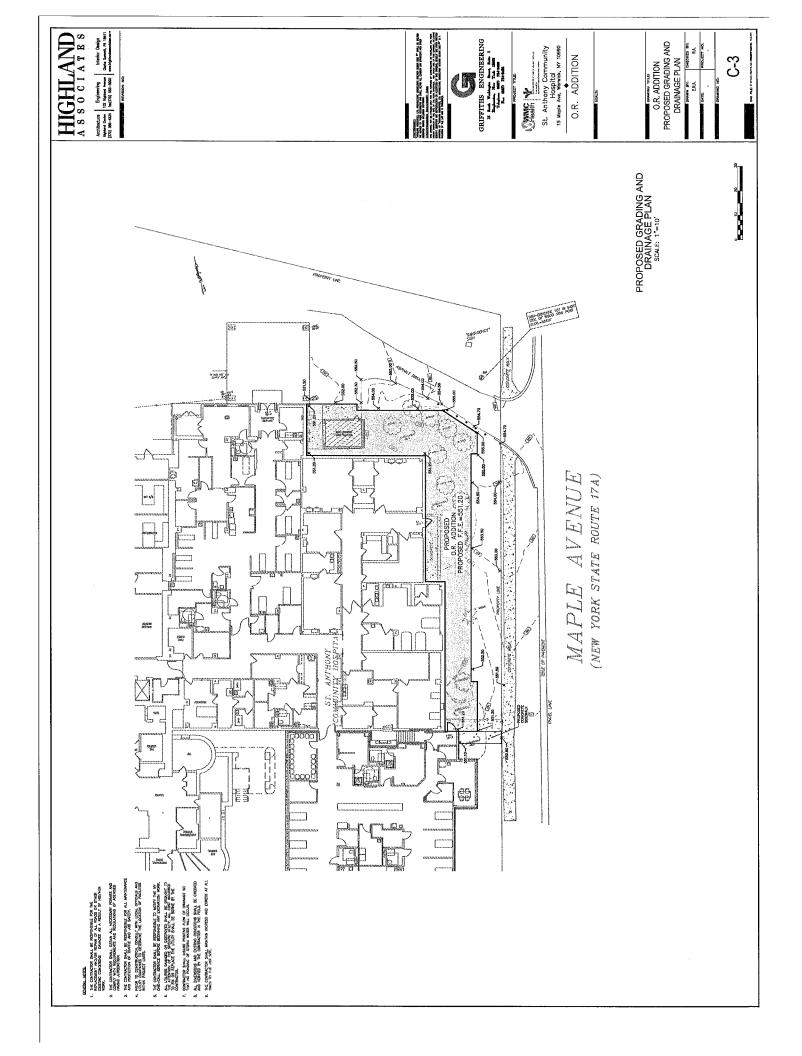


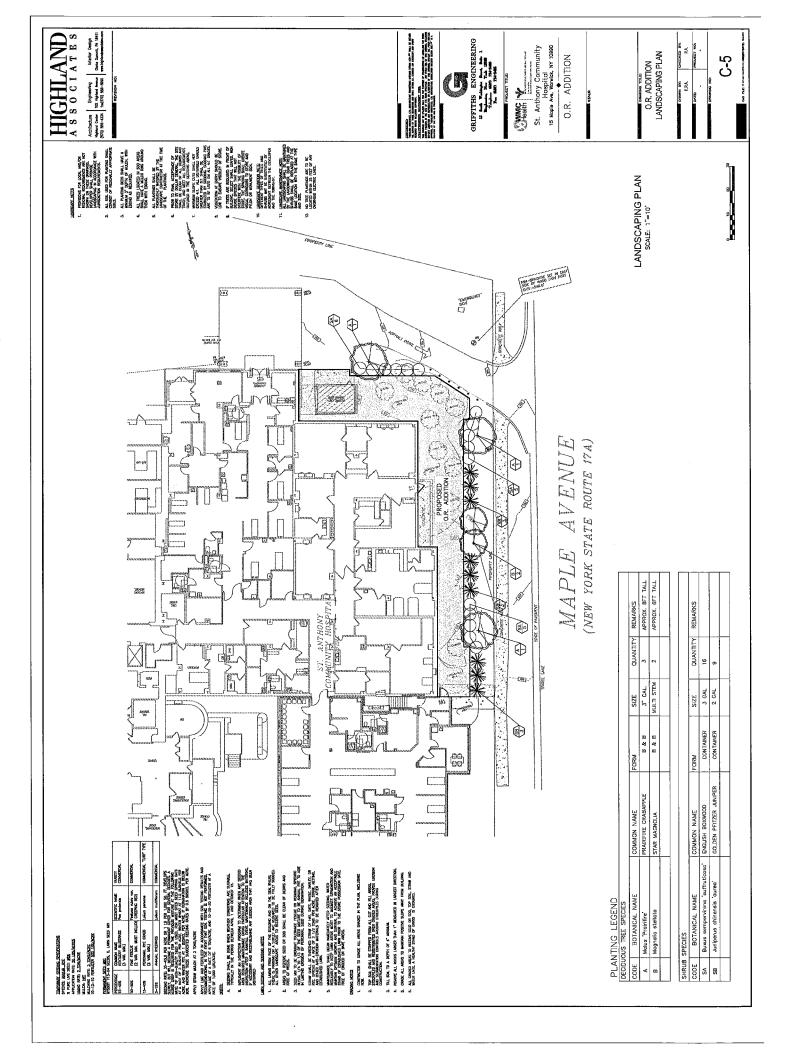


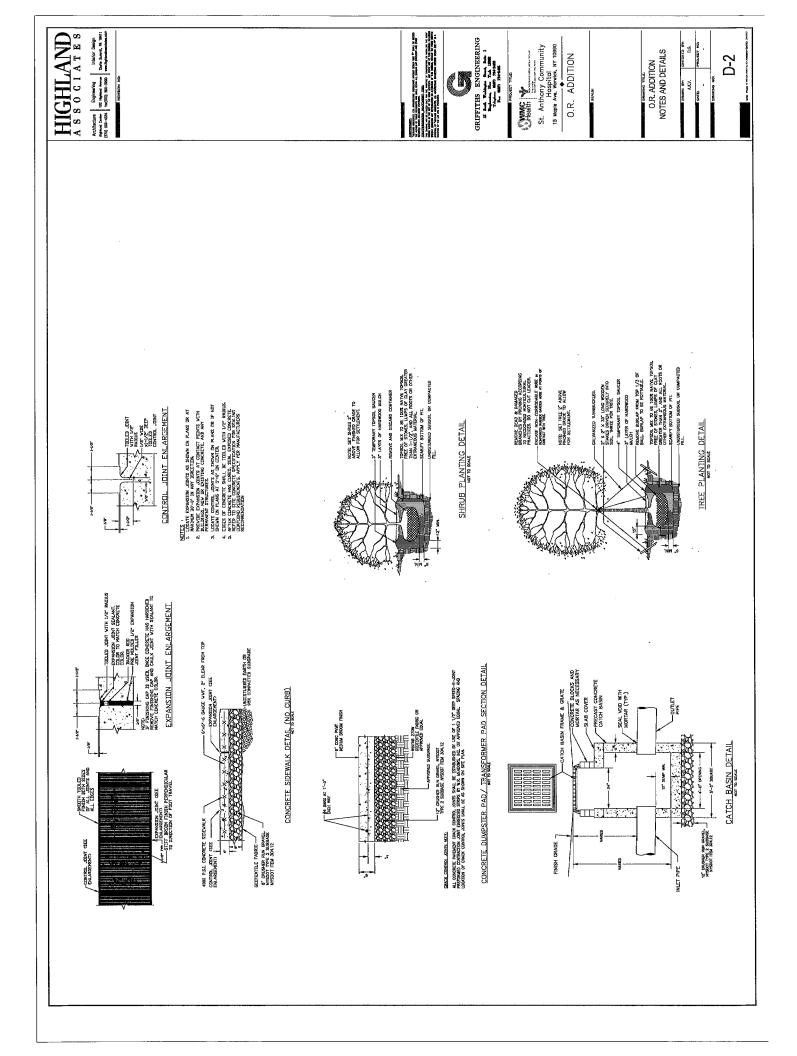


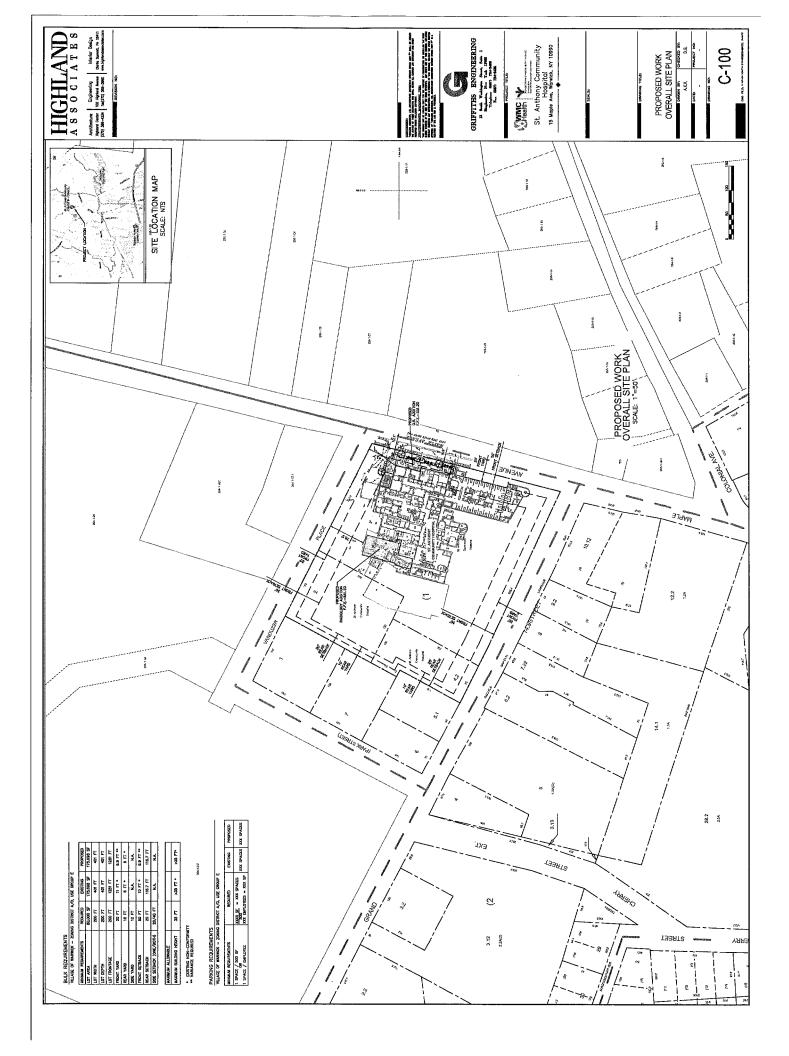














### Change Order No. 1E

Date of Issue	ance: 6/29/2021		The second s
		Effective Date:	8/26/2021
	Village of Warwick	Owner's Contract No.:	
Contractor:	U ( Onnell Electric ( 'oner area, I		
	Barton and Loguidice D.D.C.	Contractor's Project No.:	82888
-		Engineer's Project No.:	1334.007.001
rioject.	Warwick WWTP UV Disinfection		Contract 1E- Electrical
			Construction

The Contract is modified as follows upon execution of this Change Order:

Description: Summary of revisions to project scope of work.

Attachments: Summary of Changes

CHANGE IN CONTRACT PRICE				
	CHANGE IN CONTRACT TIMES [note changes in Milestones if applicable]			
Original Contract Price:	Original Contract Times:			
¢ 00.10 <i>c</i> 00	Substantial Completion:			
\$ <u>98,185.00</u>	Ready for Final Payment:			
	days or dates			
[Increase] [Decrease] from previously approved Change	[Increase] [Decrease] from previously approved Change			
Orders No. 0 to No. 1:	Orders No:			
ć o	Substantial Completion:			
\$ <u>0</u>	Ready for Final Payment:			
	days			
Contract Price prior to this Change Order:	Contract Times prior to this Change Order:			
¢ 08 185 00	Substantial Completion:			
\$ <u>98,185.00</u>	Ready for Final Payment:			
	days or dates			
Decrease of this Change Order:	[Increase] [Decrease] of this Change Order:			
\$ <u>13,269.50</u>	Substantial Completion:			
\$_15,269.50	Ready for Final Payment:			
Contract Drive i	days or dates			
Contract Price incorporating this Change Order:	Contract Times with all approved Change Orders:			
\$ <u>84,915.50</u>	Substantial Completion:			
\$ <u>84,915.50</u>	Ready for Final Payment:			
RECOMMENDED.	days or dates			
By: ACCEP	TED: ACCEPTED:			
Dy.	By:			
Engineer (if required) Owner (Auth	norized Signature) Contractor (Authorized Signature)			
Hanager me	Title Scott McCarthy Contractor (Authorized Signature)			
Date: 8/26/2021 Date	Date 8.26.2021			
Approved by Funding Agency (if	0.20.2021			
applicable)				
By:				
Title:	Date:			
EJCDC <sup>®</sup> C-941, Chang	e Order.			

Revisions to Electrical Scope of Work

- Removal of hand hole at sand filter building
- Credited back on sheet 18x12x30 \$465.00
- Removal of flood lights and circuitry on canopy exterior.
- Removal of interior lights and circuity under canopy over UV channels
- Material credited back on sheet \$2,458.00
- Removal of UV Disinfection control QIT and LL sensors and all circuitry. \$1,000.000
- Included in circuitry below
- Reduced duct bank installation due to moving all panels and transformers to the UV channels.
   \$1,500.00 This would equate to the approximately the same distance
- Added installation of aluminum back board with L-channel legs.
- Price given for credit \$1,197.00
- Removal of lightning protection of the canopy.
- We installed the ground rods and the grounding whips from the rods to the steel for future. Credit given. \$3,636.50
- Removal of concrete pad for transformer.
- \$250 CREDIT 24 x 24 x 4
- Conduit and circuitry
   \$868.00
- Unused Construction Allowance \$5,000.00
- Nema 4x 100 amp disconnect \$1,908.00
- Aluminum Backboard and stanchion \$1,197.00

Total credit back is \$13,269.50



American Legion: 444-444-4444 Veterans of Foreign Wars: 333-333-333

VETERANS: JOIN TODAY TO PROTECT YOUR BENEFITS



**PLEAS** 

#### INTEROFFICE MEMORANDUM

TO:MAYOR NEWHARD & THE VILLAGE BOARDFROM:MIKE MOSER, DPW SUPERVISORSUBJECT:12' LONG TILT TRAILERDATE:AUGUST 31, 2021

Motion to accept the quote from Hudson River Truck & Trailer in the amount of \$4901.00 for the purchase of a 12' Long Tilt Trailer, 6900LB GVW per recommendation of the DPW Supervisor. This trailer will replace our 1978 Trailer that is out of service and not repairable.

Three Vendors were called two quotes were received:

Hudson River Truck & Trailer	\$4901.00
Trailer King	\$6551.00
Appalachian Trailer Sales	No Quote

### HUDSON RIVER TRUCK & TRAILER 12 Commerce Street Ext. Poughkeepsie, New York 12603

### www.hudsonrivertruck.com Ph# (845)454-SNOW (7669) Fax# (845)454-7726

Quoted to:

Customer ID

Village of Warwick P.O. Box 369 77 Main St. Warwick, NY 10990 Phone 845-986-2031 ext.6 Fax 845-987-1215 P.O. #

## Quotation

Quote Number 137752-JS

> Quote Date Aug 3, 2021

> > Page: 1

Ship to: Village of Warwick P.O. Box 369 77 Main St. Warwick, NY 10990

HOURS Mon thru Fri 8-5

**Payment Terms** 

Like

Sales Rep

WAR2031 dpw@villageofwarwick.or		arwick.org	C.O.D.	JEFF	
Quantity	ltem		Description		Extension
1.00			3CAM612TT 12' LONG TILT TRAILER,6900LB GVW WITH A PAYLOAD		4,895.00
1.00	NYS Inspection		ection \$6.00	6.00	6.00
		Custome Number	r Resale LETTER ON FILE		
tie subject to ch	ance without notice. Deposit	s and Special O	This quote is valid for 24 HOURS. Thereaf rders are Non-Refundable. Max credit card	Subtota	4,901.00
harge allowed (	on Trailers is \$2500. We do N	OT accept Ame	rican Express. Thank you. :) ALL VEHICLE /ILL INCUR A \$25 PER DAY STORAGE FE	Sales Ta	
Ву	Accepted	•)	Date	Tota	4,901.00

Thank you!!

:)

TRAILER KING ROUTE 55 / 18 MANCHESTER CIRCLE POUGHKEEPSIE, NY 12603 845-454-7500 FAX#845-485-6753

DATE 8-17-2021

Estimate

311121

PART#	DESCRIPTION	QTY	PRICE	DISC	TOTAL
CC 612RT 60	TRAILER ROLLER 6X12 TILT	1.00	6015.00	0	6015.00
SHIP150	SHIPPING UNIT	1.00	150.00	0	150.00
* *	******************	0.00	0.00	0	0.00
DMVD	NYS DEALER #7060769	1.00	0.00	O	0.00
NYSTF	NYS MANDATORY TITLE > THAN 1K UNLADEN	1.00	50.00	0	50.00
NYS	NYS INSPECTION	1.00	6.00	0	6.00
TD	NYS MANDATORY TAX PER TIRE	4.00	2.50	0	10.00
REG	<1000LB=\$125 1-7000LB=\$185 7K-10,000LB=\$250	1.00	250.00	0	250.00
PF	DEALER'S OPTIONAL FEE FOR PROCESSING APPLICATION FOR REGISTRATI	1.00	45.00	0	45.00
MCTD	METRO COMMUTER TRANSP SUPPLEMENTAL FEE D, O, R, P, W, NYC, LI ONLY	1.00	25.00	0	25.00
**	*******	0.00	0.00	0	0.00
SL	YOUR SALESPERSON IS STACEY	0.00	0.00	0	0.00
AF	ADD 3.5% ADMINISTRATIVE FEE FOR CREDIT CARD USE	0.00	0.00	0	0.00
DEPOSIT*	GET SIGNATURE	0.00	0.00	0	0.00

\*\*\*ESTIMATE\*\*\*\*ESTIMATE\*\*\*\*ESTIMATE\*\*\*\*ESTIMATE\*\*\*\*ESTIMATE\*\*\*\*ESTIMATE\*\*\*\*ESTIMATE\*\*\*\*

**Prices quoted are an approximate charge for work to be done. Any additional labor or material Lab	
required beyond the scope of this estimate will be additionally charged at our labor rate of \$65 per half hour plus parts Subtain NON TAXAN	
and material . **Deposits & shipping charges for special orders are non refundable. Approved returns are	3LE 0.0(
subject to a 35% restocking fee.	al 6551.0(

\*\* I have read this and agree to the terms of this work to be performed.

٤

VI VI	ELAGE OF WARWICK PROGUREMENTER	,
Purchase Contract	EURCHASING QUOTATION SUMMA	
\$2,000 - \$19,599 Above \$20,000	(3) Written/Email/Fax Quotes Mandatory Competitive Bidding	<u>Vorks Contracts (Services/Construction)</u> \$2,000 - \$34,999 Above \$35,000
<ul> <li>Aggregate purchases</li> </ul>	s totaling over \$20,000 – must follow mandatory competit	tive bidding process.
This form must be all	ttached to voucher and invoice for Board approval.	
DESCRIPTION OF PUR	CHASE	
12' Long	Tilt Irailer	
BUDGETED PURCHAGE	BUDGET CODE	SURRENT LINE BALANCE
BUDGETED AMOUNT	IE NO EXPLAIN	Signature:
	Energence - Kurchase - 51	leck Top Trailer
# DATE OF QUOTE		TOTALCOST
<u>- X13121</u>	hludson Kiner Inck + Trailer	- <u>\$ 4901.</u> -
2 8117 01	Irailer Keng	\$ (655)
VENDOR SELECTED	1-ppalacean Pailer	\$
Heidson King	Elack + Irpiler Pouchk	areira LN
IF NOT LOWEST BID EXPLAIN	A MHA	
		a a a she and a she a she a she a she a she a she a
IF ONLY (1) QUOTE EXPLAIN	<u>OR IF A SOLE SOURCE</u>	
EXCEPTIONSTOC		
OTHER GOVERNMENTS	NAME OF AGENCY	
STATE - COUNTY MUNICIPAL BID	VENDOR/SUPPLIER	CONTRACT#
CONTRACTS	TOTAL COST \$	
	ADDITIONAL INFORMATION	
**EMERGENCY PURCHA	SE** - Must meet one of the following situations	n de la d
<ol> <li>Result from acciden</li> <li>Impact public buildin</li> <li>Requires immediate</li> </ol>	t or unanticipated incident igs, property, or the life, health & safety of municipal r action that cannot wait for competitive bidding URCHASE - ATTACH ADDITIONAL DOCUMENTATION	residents
DEPARTMENT APPROV.	AL/	
Name/Title: <u>M.V.c</u>	POLEA XRW Superison	Date: 84101
Signature:/	1. Mose	

To: Village of Warwick Board of TrusteesFrom: Brad Davidson, Head Coach and President, Highlander RugbyRe: Facilities use requestDate: August 23, 2021

To Whom It May Concern:

Per directions on the *facility use request form*, Highlander Rugby are requesting use of the football field between the parking lot and the men's softball diamond Tuesday and Thursday nights from 7-9 PM for practices.

Highlander Rugby is a 501(c)3 non profit corporation [id number 0450134227] youth rugby club, created to give youth in Northern NJ and Southern NY an opportunity to play rugby. Since moving to Warwick from West Milford NJ in April of this year, we have been building a competitive team and participating fully in youth rugby activities in the NY and NJ area.

For this Fall, pending any pandemic changes, we will be participating in a tristate Rugby 7s fall league, competing with teams from NJ, NY and CT. All relevant COVID protocols will be followed, per national guidance from USA rugby and in alignment with state and local ordinances. We will be fielding one boys side and will be combining with a group from Union NJ to field a combined girls side.

We have been enjoying our time in Warwick and are looking forward to continued growth of the club.

Brad Davidson, Highlander Rugby

### RECEIVED

AUG 23 2021

VILLAGE OF WARWICK CLERK 77 Main Street Post Office Box 369 Warwick, NY 10990 www.villageofwarwick.org



(845) 986-2031 FAX (845) 986-6884 mayor@villageofwarwick.org clerk@villageofwarwick.org

## VILLAGE OF WARWICK

FACILITY USE REQUEST

Today's Date: $8/23/21$ Date(s) Requested:Thes & Thes & Thws.Time of Event: $7 - 9 \rho M$ Set Up Time:Break Down Time:Sept. Oct. Nov. 2
Village Park/Facility Requested: <u>Memorial Park</u> *Please use attached map to indicate areas to be used. Name of Event (Purpose of Use): <u>Highlander Angbz Prachus</u> Name of Organization or Individual: <u>Highlander Angbz</u>
Name of Organization or Individual:Hishlander Razby
Check one:  Non-Profit $1501(c)3$ For Profit $\square$ Private Event Proof of Residency:  Designated Contact:  Bandbandban Mailing Address:  64 Milhelm Dr. Email: bcolling a hotma, 1. com
Telephone Day:         Evening:         Cell:         945         751         675         675
Total Participants Expected: Adults: $3-5$ Children: $10-20$
Village of Warwick Participants (Number):       2 ≤       Non-Resident Participants (Number):       0 - 2         How will event be advertised?
If yes, please give details:
The undersigned is over 21 years of age and has read this form and attached regulations and agrees to comply with them. He/she agrees to be responsible to the Village of Warwick for the use and care of the facilities. He/she, on behalf of <u>Highlander Rughy</u> (Name of Organization) does hereby covenant and agree to defend, indemnify and hold harmless the Village of Warwick from and against any and all liability, loss, damages, claims, or actions (including costs and attorneys' fees) for bodily injury and/or property damage, to the extent permissible by law, arising out of or in connection with the actual or proposed use of Village's property, facilities and/or services by <u>H.shlank</u> <u>Kuyby</u> (Name Organization).
Address: $\underline{M} \underline{M} \underline{M} \underline{M} \underline{M} \underline{M} \underline{M} \underline{M} $
Police approval (if applicable) $N/A$ *Items on file in the Clerk's office

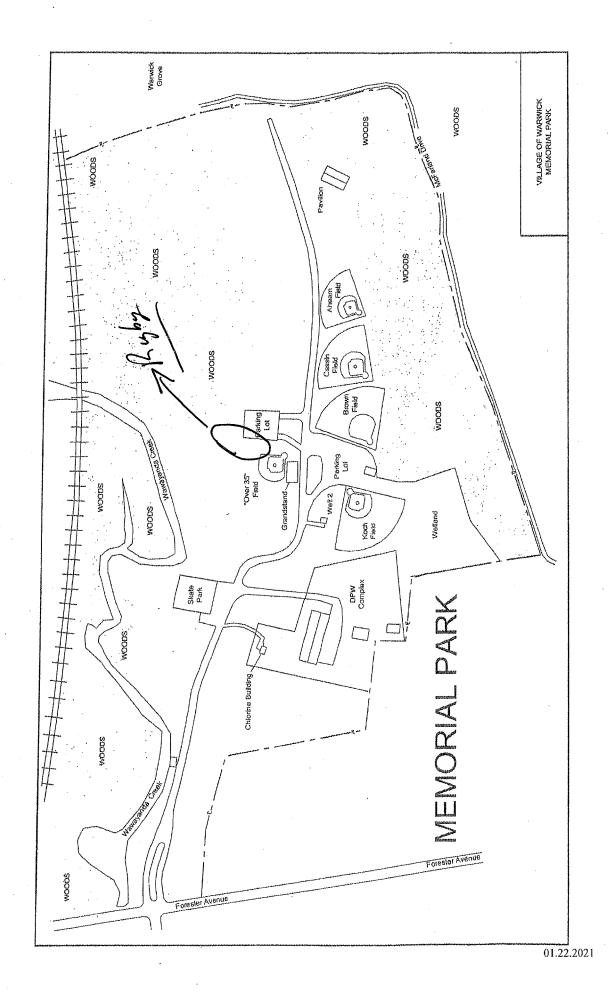
22. In the event of an accident, please notify the Village Clerk before the end of the next business day.

FACILITY USER does hereby covenant and agree to defend, indemnify and hold harmless the Village of Warwick from and against any and all liability, loss, damages, claims, or actions (including costs and attorneys' fees) for bodily injury and/or property damage, to the extent permissible by law, arising out of or in connection with the actual or proposed use of the Village of Warwick property, facilities and/or services.

I have read the Facilities Use Requirements

Signature 8/22/21

Date



# TRIVEDI LAW GROUP P.C.

ATTORNEYS AT LAW 400 Jericho Turnpike, Suite 318 Jericho, New York 11753 Telephone #: 516-470-1379 Facsimile #: 516-470-1382

Nehal "Neal" Trivedi

(nt@dtlawny.com)

RECEIVED

Town of Warwick

Town Clerk

August 20, 2021

#### **Certified Mail/Return Receipt Requested**

Town of Warwick 132 Kings Highway Warwick, NY 10990

Re: The Fed of Warwick LTD

Dear Sir/Madam:

We are the attorneys for The Fed of Warwick LTD operating a restaurant located at 30 Main Street, Warwick, NY 10990.

Enclosed please find a New Application for a thirty (30) day notice to the Community Board for The Fed of Warwick LTD for on premises liquor wine and beer license. Our client intends to make a new application to the New York State Liquor Authority to obtain a license for an on-premises consumption of liquor, wine, beer & cider products.

With regard to said Application, if you have any questions or concerns, please contact the undersigned.

Very truly yours,

TRIVEDI LAW GROUP P. C.

NT

Nehal Trivedi

VILLAGE OF WARWICK **VILLAGE CLERKS OFFICE** 

RECEIVED

AUG 2 4 2021

NT/ Enc

rev02282020	OFFICE USE ONLY				
New york Safe State Liquor Strainsure Authority	Original Amended Date 49				
Sta	Standardized <u>NOTICE FORM</u> for Providing <u>30-Day Advance Notice</u> to a <u>Local Municipality or Community Board</u>				
1. Date Notice was Sent:	08/20/202/ 1a. Delivered by:				
2. Select the type of Applica	tion that will be filed with the Authority for an On-Premises Alcoholic Beverage License:				
🗭 New Application	O Renewal O Alteration O Corporate Change O Removal O Class Change O Method of Operation Change				
For Renewal applicar For Alteration applica For Corporate Chang For Removal applicar For Class Change app For Method of Opera	inswer each question below using all information known to date hts, answer all questions ants, attach a complete written description and diagrams depicting the proposed alteration(s) e applicants, attach a list of the current and proposed corporate principals its, attach a statement of your current and proposed addresses with the reason(s) for the relocation licants, attach a statement detailing your current license type and your proposed license type iton Change applicants, although not required, if you choose to submit, attach an explanation detailing those changes				
	lude all documents as noted above. Failure to do so may result in disapproval of the application.				
	tice is Being Provided to the Clerk of the Following Local Municipality or Community Board:				
3. Name of Municipality or	Community Board: Town of Warwick				
Applicant/Licensee Infor	mation:				
4. Licensee Serial Number (i	f applicable): Expiration Date (if applicable):				
5. Applicant or Licensee Nar	me: The Fed of Warwick LTD				
6. Trade Name (if any):					
7. Street Address of Establis	hment: 30 Main Street				
8. City, Town or Village:	Warwick, NY Zip Code: 10990				
9. Business Telephone Num	ber of Applicant/Licensee: 631-6821827				
10. Business E-mail of Appli	cant/Licensee: michael@gastromarket.com				
11. Type(s) of alcohol sold c					
12. Extent of Food Service:					
Full food menu; full	kitchen run by a chef or cook 🛛 🔿 Menu meets legal minimum food availability requirements; food prep area at minimum				
13. Type of Establishment:	Restaurant				
14. Method of Operation: (check all that apply)	Seasonal Establishment Juke Box Disc Jockey Recorded Music Karaoke Live Music (give details i.e., rock bands, acoustic, jazz, etc.): Patron Dancing Employee Dancing Exotic Dancing Topless Entertainment				
	□ Video/Arcade Games □ Third Party Promoters □ Security Personnel				
	Other (specify):				
15. Licensed Outdoor Area: (check all that apply)	None Patio or Deck Rooftop Garden/Grounds Freestanding Covered Structure				
	Sidewalk Cafe Other (specify):				

opla-rev02282020	OFFICE US ginal () Amended	SE ONLY Date			49
16. List the floor(s) of the building that the estab 17. List the room number(s) the establishment is		floor		sement	
18. Is the premises located within 500 feet of th		L	Ves O No	m ęu	eitchen
19. Will the license holder or a manager be phys	ically present within the establ	ishment during all	hours of operation?	Ores O	No
20. If this is a transfer application (an existing lic	ensed business is being purcha	sed) provide the n	ame and serial number	of the licensee:	
Name		L	Serial Nu	mber	
21. Does the applicant or licensee own the build	ing in which the establishment	is located?	Yes (if YES, SKIP 23-26)	P.No	
Owner o	f the Building in Which the	Licensed Establi	shment is Located		
22. Building Owner's Full Name:	era Realty	-			
23. Building Owner's Street Address: 174	Altessa BIVD				
24. City, Town or Village: Meiville		State:	NY	Zip Code:	1747
25. Business Telephone Number of Building Owr	ner: 917 - 796	- 8474			
	ve or Attorney Representin icense to Traffic in Alcohol a Nehal Trivedi 400 Jericho	t the Establishn			
28. City, Town or Village: Jericho		State:	NY	Zip Code: 1	1753
29. Business Telephone Number of Representati	ve/Attorney: 516	- 470-	1379		
30. Business E-mail Address of Representative/A	ttorney: NCONS	la @	1+ Jawn	1. Com	
I am the applicant or license Representations in this form a the Authority when granting upon, and that false represe By my signature, I affirm -	re in conformity with repres the license. I understand th	entations made at representatio oproval of the ap	in submitted docume ns made in this form plication or revocatio	ents relied upon will also be relied n of the license.	
31. Printed Principal Name: Michae	el Tzezailia	Jis Title:	Presiden	Ł	
Principal Signature:	$\int$				

Page 2 of 2

# Warwick

### WARWICK VALLEY CENTRAL SCHOOL DISTRICT

Monday, August 23, 2021

Mayor Michael Newhard Village of Warwick 77 Main Street Warwick, NY 10990

Dear Mayor Newhard:

Warwick Valley High School will be holding its annual Homecoming Parade on Saturday, October 9th, 2021. The parade will leave the bus garage at 11:30 A.M. The parade will involve both Town and Village limits, and will begin at the school's bus garage, continue down County Route 1, turn off at Hathorne Road to meet other parade participants, and will travel on Route 94. At this point, students and teachers who are walking in the parade will join us; this may take five minutes. These participants will be arriving via school bus. We will then proceed up Main Street, passing slowly by the reviewing stand in front of the TD Bank on Main Street for guests and judges. The parade will pass CVS and make a left onto Wheeler Ave. It will then make a left onto Spring Street and a right onto West Street and return to the bus garage. The Homecoming Game will follow the parade at 1:00 P.M. Saturday at the High School Football Field.

If you have any questions or concerns, please call us at (845) 987-3050. Thank you for all your continued cooperation.

Sincerely,

Danielle Bugasch & April Beauregard Homecoming Advisors

cc: Dr. David Leach, Superintendent of Schools Mrs. Marguerite Fusco, Principal



AUG 31 2021

VILLAGE OF WARWICK VILLAGE CLERKS OFFICE