

77 Main Street
Post Office Box 369
Warwick, NY 10990
www.villageofwarwick.org



(845) 986-2031
FAX (845) 986-6884
mayor@villageofwarwick.org
clerk@villageofwarwick.org

VILLAGE OF WARWICK

INCORPORATED 1867

Village of Warwick Village Board Meeting – August 17, 2020

Pursuant to Governor Cuomo's Executive Order 202.1, Village of Warwick meetings will be conducted virtually through Zoom Videoconference until further notice.

To View the Meeting:

FACEBOOK LIVE - The public may view the meeting live by going to the Village of Warwick's Facebook page: <https://www.facebook.com/VillageofWarwick>

VILLAGE'S WEBSITE – The public may view the meeting a day or so after its completion by going to the village's website: www.villageofwarwick.org

To Comment - During Privilege of the Floor Only:

FACEBOOK LIVE – Comments may be made during the Village Board Meeting through Facebook Live within privilege of the floor by going to the Village of Warwick's Facebook page: <https://www.facebook.com/VillageofWarwick>

TELEPHONE – Comments may be made during the Village Board Meeting by calling the Village Clerk's Office within privilege of the floor at (845) 986-2031 ext. 102.

**BOARD OF TRUSTEES
VILLAGE OF WARWICK
August 17, 2020
AGENDA**

**Call to Order
Pledge of Allegiance
Roll Call**

1. Introduction by Mayor Newhard.
2. Acceptance of Minutes: August 3, 2020

The vote on the foregoing **motion** was as follows:

Trustee Cheney ____ Trustee Lindberg ____ Trustee Patterson ____

Trustee McManus ____ Mayor Newhard ____

3. Acceptance of Reports, July 2020: Clerk's Office & Tax Collection Summary, Justice, Building, Planning Board & ZBA.

The vote on the foregoing **motion** was as follows:

Trustee Cheney ____ Trustee Lindberg ____ Trustee Patterson ____

Trustee McManus ____ Mayor Newhard ____

4. Authorization to Pay all Approved and Audited Claims #_____ – _____ in the amount of \$_____.

The vote on the foregoing **motion** was as follows:

Trustee Cheney ____ Trustee Lindberg ____ Trustee Patterson ____

Trustee McManus ____ Mayor Newhard ____

5. Police Report - *Suspended to Streamline Meeting due to COVID-19*

Privilege of the Floor

Please limit your comments to **five (5)** minutes. If reading a document, please submit a copy to the Clerk. Please note all remarks must be addressed to the Board as a body and not to individual Board members. Please state your name clearly before speaking. These rules are taken from the Handbook for Village Officials – New York State Conference of Mayors and Municipal Officials.

Motions

Trustee Cheney's Motions:

1. **MOTION** to grant permission to Building Inspector/Code Enforcement Officer, Boris Rudzinski, to attend the NYSBOC 2020 Rescheduled Spring Seminar at a total cost of \$300 on Tuesday, September 22, 2020 – Thursday, September 24, 2020 at the Town of Ramapo Recreation Bubble in Hillburn, NY. Overtime and travel time outside of the regular workday will apply. No mileage reimbursement is applicable, village vehicle will be used.

The vote on the foregoing **motion** was as follows:

Trustee Cheney ____ Trustee Lindberg ____ Trustee Patterson ____

Trustee McManus ____ Mayor Newhard ____

2. **MOTION** to submit to the New York State Department of Transportation the proposed application for a COVID-19 Recovery Temporary Use Permit allowing temporary closure of a portion of Main Street (Route 94) to permit outdoor dining, and upon approval of the application by the DOT, to close the roadway on Thursdays, Fridays, and Saturdays through September 26th from 4:00 p.m. to 11:00 p.m. pending further extension of Governor Cuomo's Executive Order 202.38 covering those dates.

The vote on the foregoing **motion** was as follows:

Trustee Cheney ____ Trustee Lindberg ____ Trustee Patterson ____

Trustee McManus ____ Mayor Newhard ____

3. **MOTION** to allow temporary closure of a portion of Spring Street to permit outdoor dining on Fridays and Saturdays through September 26th from 4:00 p.m. to 11:00 p.m. pending further extension of Governor Cuomo's Executive Order 202.38 covering those dates.

The vote on the foregoing **motion** was as follows:

Trustee Cheney ____ Trustee Lindberg ____ Trustee Patterson ____

Trustee McManus ____ Mayor Newhard ____

Trustee Lindberg's Motions:

4. **MOTION** to grant permission to the Warwick Valley Rotary Foundation to use the Memorial Park pavilion and surrounding grassy area, the McFarland Drive parking lot, and Railroad Green on Sunday, October 25, 2020 for 'The Great Halloween Hunt'. The

event will take place from 1:00 p.m. to 5:00 p.m., with setup to begin at 11:00 a.m. and breakdown to be completed by 6:00 p.m., pending Governor Cuomo's Executive Orders, NYS Regional Phased Reopening Plan, and NYS Department of Health. Completed park permit, proof of proper insurance, and security deposit have been received. Fit Body Boot Camp to receive notice that the pavilion will be unavailable for their use for afternoon classes on this date.

The vote on the foregoing **motion** was as follows:

Trustee Cheney ____ Trustee Lindberg ____ Trustee Patterson ____

Trustee McManus ____ Mayor Newhard ____

5. **MOTION** to grant permission to Patricia English to use the pavilion and the surrounding grassy area in Memorial Park for outdoor fitness classes from August 18, 2020 through October 31, 2020 with sessions Tuesday through Thursday from 6:15 p.m. to 8:00 p.m. & Saturday and Sunday from 9:15 a.m. to 10:45 a.m. in coordination with Fit Body Boot Camp and November 1, 2020 – November 30, 2020 with sessions Tuesday through Thursday from 5:30 p.m. to 8:00 p.m. & Saturday and Sunday from 8:30 a.m. to 10:45 a.m. pending Governor Cuomo's Executive Orders, NYS Regional Phased Reopening Plan, and NYS Department of Health. Completed park permit, proof of proper insurance, and security deposit have been received.

The vote on the foregoing **motion** was as follows:

Trustee Cheney ____ Trustee Lindberg ____ Trustee Patterson ____

Trustee McManus ____ Mayor Newhard ____

**6. RESOLUTION INTRODUCING PROPOSED LOCAL LAW
TO AMEND VILLAGE CODE CHAPTER 135
VEHICLES AND TRAFFIC**

WHEREAS, the Village Board of the Village of Warwick has before it a proposed local law entitled: "A local law to amend Village Code Chapter 135, 'Vehicles and Traffic' to add traffic safety regulations and traffic control devices."; and

WHEREAS, in order to consider adoption of the proposed local law it is necessary to first introduce it and hold a public hearing upon it;

NOW, THEREFORE, BE IT RESOLVED as follows:

1. That the movant of this resolution does hereby introduce the attached proposed local law; and

2. That a public hearing on the said local law is hereby set for September 8, 2020 at 7:30 p.m.; and

3. That the Village Clerk shall publish and post notice of the public hearing.

_____ presented the foregoing resolution
which was seconded by _____,

The vote on the foregoing resolution was as follows:

Barry Cheney, Trustee, voting _____

William Lindberg, Trustee, voting _____

George McManus, Trustee, voting _____

Eileen Patterson, Trustee, voting _____

Michael Newhard, Mayor, voting _____

Trustee Patterson's Motions:

7. **MOTION** to grant permission to the Warwick Valley Chamber of Commerce to hold the Warwick Valley Farmers' Market in the South Street parking lot on Sunday, October 4, 2020 due to the cancellation of Applefest. Permission was previously granted from May 10, 2020 through November 22, 2020, except for Applefest Sunday. Completed facility use permit, security deposit and updated proof of proper insurance have been received as part of the application that was approved on January 6, 2020.

The vote on the foregoing **motion** was as follows:

Trustee Cheney ____ Trustee Lindberg ____ Trustee Patterson ____

Trustee McManus ____ Mayor Newhard ____

Trustee McManus' Motions:

8. **MOTION** to approve the New York State Gaming Commission form GC-RCF: Raffle Consent Form for Music for Humanity to sell raffle tickets in the Village of Warwick

during the 2020 calendar year and authorize the Village Clerk to sign the same. Approval of form GC-RCF does not authorize the applicant to sell tickets at their leisure. All ticket sales during events and/or street fairs are subject to prior written approval of the event organizers and must be filed in the Clerk's Office. All other ticket sales are subject to prior written approval from the Village Board of Trustees.

The vote on the foregoing **motion** was as follows:

Trustee Cheney ____ Trustee Lindberg ____ Trustee Patterson ____

Trustee McManus ____ Mayor Newhard ____

9. **MOTION** to acknowledge that Michael Vernieri, Auditor for the Village of Warwick, performed an internal audit of the Village of Warwick Justice Court as of May 31, 2019 to comply with section 2019-a of the Uniform Justice Court Act and has found that all reporting and record keeping is being completed in a timely manner and the reports are in compliance with the New York State requirements.

The vote on the foregoing **motion** was as follows:

Trustee Cheney ____ Trustee Lindberg ____ Trustee Patterson ____

Trustee McManus ____ Mayor Newhard ____

Reports: *Suspended to Streamline Meeting due to COVID-19*

Final Comments from the Floor

Final Comments from the Board

Executive Session, if applicable

Adjournment

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VILLAGE OF WARWICK
INCORPORATED 1867

FROM THE OFFICE OF THE BUILDING DEPARTMENT

8/12/2020

Honorable Mayor and Trustees,

Due to the Covid pandemic, my annual training conference in Poughkeepsie that was approved and paid for has been cancelled and not rescheduled. They offered to refund or "rollover" the fee for next years Poughkeepsie conference, rollover is what I will opt for.

I was messaged by the other local chapter of NYSBOC(New York State Building Officials Conference) that their July rescheduled conference for Sept 22-24, 2020 in Rockland had additional seats available.

I messaged immediately and was put as #1 on the waiting list.

The only other available conference to achieve these combined hours is scheduled for November in Kingston, a further distance to travel.

I wish permission to on short notice be approved to attend this conference should a seat become available. Itinerary has not been disclosed yet.

Attached is the information for the Rockland seminar that was rescheduled for Sept 22-24, 2020.

The cost would be \$300 and would likely require some overtime due to scheduling. Itinerary has not been disclosed yet.

I would travel with Mike Moser as he is also registered for this conference so no use of village vehicle or mileage re-imbursement needed.

Thank you for your consideration on such short notice,

Boris Rudzinski

Village of Warwick Building Inspector/Code Official



New York State Building Officials Conference
NYSBOC Rockland County Chapter
PO Box 155
Tallman, NY 10982
Email – Rocklandnysboc@gmail.com



NYSBOC Rockland Spring Seminar 2020
3 Full Days of Classes
Minimum of 19 NYS In-service credit hours*
*(Possibly more)

Dates: Tuesday April 21, 2020 to Thursday, April 23, 2020

Pre-registration is required: Class size is limited. To register complete the information below and return it via mail as soon as possible. If email address is provided, you will receive registration confirmation.

Early Bird Registration - Special Pricing for all three days!

✂-----✂-----✂-----✂-----✂-----✂-----✂

Three-Day Seminar April 21, 2020 – April 23, 2020

Name	<u>MICHAEL MOSER</u>	Title	<u>DPW SUPERINTENDENT</u>
Address	<u>77 MAIN ST</u>	Phone	<u>845-986-2031</u>
	<u>WARWICK NY 10990</u>	Member of NYSBOC	<u>YES</u>
		Chapter	<u>TRI-COUNTY</u>

Please provide ID Numbers ☒ ☒

NYS DOS ID # 0009509

FDID # _____

E-mail DPWSUPERVISOR@VILLAGEOFWARWICK.ORG
Jurisdiction VILLAGE OF WARWICK

Early Bird Registration form must be received by **Feb. 15, 2020**
Mail registration form with check to:
Note New Address
NYSBOC-Rockland County Chapter
PO Box 155
Tallman, NY 10982

NYSBOC Rockland
Early Bird Special Pricing

All Classes \$275.00 ☒
After Feb 15th - Regular price of \$300. applies



New York State Building Officials Conference
NYSBOC Rockland County Chapter
PO Box 155
Tallman, NY 10982
Email – Rocklandnysboc@gmail.com



Vincent Fiorentino
President
Educational Coordinator

Manny Carmona
1st Vice President

Ruben Berrios
2nd Vice President
Delegate

Adam Peltz
Treasurer
Sergeant at Arms

Jane Slavin
Secretary
Ways & Means

Adam Peltz
Delegate

Ken Dillon
Ways & Means

July 2020 President's Report Important Seminar Information

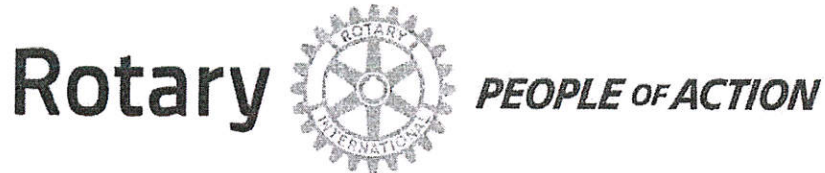
Seminar Information

We believe now that our region has entered phase 4 of reopening, we may be allowed to hold our seminar as it says it will allow educational facilities to open. We believe we fit into that category, but the final word on allowing us to proceed will come from the State of New York. As soon as we hear anything definitive you will be notified by email.

It also appears the State is not going to wave any or all the required in-service hours for 2020. With that said, we are planning to move ahead with having our **Seminar on September 22, 23, 24, 2020** with some **Important COVID -19 changes/rules.**

1. We are changing the venue to the **Town of Ramapo Recreation Bubble at Torn Valley, 115 Torne Valley Road, Hillburn, NY 10931**. This is an exceptionally large space that will allow for social distancing.
2. Our class setup will be 8-foot long tables with only **2 participants per table** for social distancing.
3. Participants **MUST** have to have their temperature taken daily.
4. Participants **MUST** sign a COVID-19 Liability Waiver daily.
5. Participants **MUST** wear a mask while in the Bubble (of course it can be removed when eating).
6. Food – we will not be having our typical buffet-style Breakfast and Lunch, there will be wrapped bagels and muffins in the morning and box style lunch daily. The lunch break will be 30 minutes each day.
7. The seminar area will be professionally disinfected daily.
8. Attendance Scanning – Each participant will be responsible for getting scanned at both the start and end of each class. This translates to being in the Bubble at the exact time a class starts and staying to be scanned at the end of the allotted time of the class. **This means you must be prepared to be present from 8:00 AM to 5:30 PM on the 8-hour day and 8:00 to 4:30 the 7-hour days.**
9. If anyone who has registered for the seminar does not feel comfortable with our plan of action and wishes to withdraw please let us know as each person has a different feeling about COVID-19 and safety precautions. Attendees who do not abide strictly to our rules will not be allowed to participate. **We are not Policemen, we expect all to follow the stated rules.**
10. We reserve the right to amend and or add to the rules set forth here.

Vincent Fiorentino
Chapter President



Warwick Valley Rotary Foundation
PO Box 121
Warwick NY 10990

August 12, 2020

Michael Newhard, Mayor
77 Main Street
P.O. Box 369
Warwick, New York 10990

Dear Mayor Newhard and Village of Warwick Trustees,

On behalf of the entire Warwick Valley Rotary Foundation, I would like to formally request the use of the Memorial Park Pavilion and McFarland Drive parking area AND the use of Railroad Green on Sunday, October 25, 2020 to hold a socially distanced family fun event. *The Great Halloween Hunt* will require the knowledge of people, places, and things within the entire Town of Warwick to be able to decipher clues and move closer to solving the puzzle. It's going to be a very exciting event!

There will be two separate "hunts" happening – a walkable hunt in the Village (geared more toward kids) and a driving hunt that will encompass the entire Town, including Greer Road, Lake and Florida. The Memorial Park Pavilion (driving hunt) and Railroad Green (walking hunt) will serve as registration areas and will also serve as a "help desk" for those who are not able to decipher a clue. The people who pre-register (we are encouraging people to pre-register) will receive an email on the morning of the event with a list of clues (the clues will be numbered and each team will start at a different number) – each clue will take the hunters to a local business (that has been previously contacted and is involved in the event). Each business will have a paper with a letter (of the alphabet) of on it. Each team must collect all of the letters from each business and then unscramble the letters to make a word or phrase – and then that team has solved the puzzle. In addition, the hunters have also visited many small businesses throughout the Town and Villages that they may return to later!

I have described the overall concept of *The Great Halloween Hunt* – a socially distant family fun event that will also add some foot traffic to many local businesses. This event is the first of its kind in Warwick and the event will need to comply with the COVID-19 requirements for that day; therefore, the event details may change slightly but the overall concept of the event will remain the same.

The Great Halloween Hunt will start at 12 noon on Sunday, October 25th and end at 5pm. We estimate that we will need the park from 11am to set up through 6pm to cleanup.

If needed, the Warwick Valley Rotary Foundation is an IRS-designated, 501(c)3 Foundation (EIN: 82-2321362).

Please let me know if additional information is needed at (845) 258 – 8305.

Sincerely,

Patricia Lurye-Dempster
Committee Member and Village of Warwick Resident

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AUG 12 2020

VILLAGE OF WARWICK
VILLAGE CLERKS OFFICE

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VILLAGE OF WARWICK

INCORPORATED 1867

FACILITY USE REQUEST

Today's Date: 7-28-2020 Date(s) Requested: 10-25-2020 Time of Event: 1:00 PM
Set Up Time: 11:00 am Break Down Time: 6:00 pm

Village Park/Facility Requested: Memorial Park Pavilion and Railroad Green

*Please use attached map to indicate areas to be used.

Name of Event (Purpose of Use): The Great Halloween Hunt

Name of Organization or Individual: Warwick Valley Rotary

Check one: ☒ Non-Profit ☐ 501(c)3 ☐ For Profit ☐ Private Event

Proof of Residency: ✓ Designated Contact: Laura Barca/Leo Kaytes

Mailing Address: PO Box 121 Email: warwickvalleyrotary@gmail.com

Telephone Day: 8456296497 Evening: 8456296497 Cell: 84562964978

Total Participants Expected: Adults: 50 Children: 50

Village of Warwick Participants (Number): _____ Non-Resident Participants (Number): _____

How will event be advertised? Social Media

Is material or equipment required from the Village of Warwick? ☐ Yes ☒ No

If needed, state type and for what purpose: _____

Is admission fee charged? ☒ Yes ☐ No

If so, what will proceeds be used for? Warwick Valley Rotary Foundation

Will food be served? ☐ Yes ☒ No

If yes, please give details: _____

The undersigned is over 21 years of age and has read this form and attached regulations and agrees to comply with them. He/she agrees to be responsible to the Village of Warwick for the use and care of the facilities. He/she, on behalf of Warwick Valley Rotary (Name of Organization) does hereby covenant and agree to defend, indemnify and hold harmless the Village of Warwick from and against any and all liability, loss, damages, claims, or actions (including costs and attorneys' fees) for bodily injury and/or property damage, to the extent permissible by law, arising out of or in connection with the actual or proposed use of Village's property, facilities and/or services by Warwick Valley Rotary (Name Organization).

Laura Barca

Signature of Organization's Representative (Must be a Village of Warwick Resident)

Address: 32 WOODSIDE DRIVE

Telephone: 987 7823

Clerk Use Only: Security deposit check # 7177
Police approval (if applicable) N/A

Certificate of Insurance ✓
*Items on file in the Clerk's office

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AUG 12 2020

VILLAGE OF WARWICK
VILLAGE CLERKS OFFICE

02.07.2020

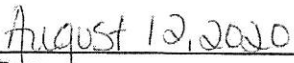
22. In the event of an accident, please notify the Village Clerk before the end of the next business day.

FACILITY USER does hereby covenant and agree to defend, indemnify and hold harmless the Village of Warwick from and against any and all liability, loss, damages, claims, or actions (including costs and attorneys' fees) for bodily injury and/or property damage, to the extent permissible by law, arising out of or in connection with the actual or proposed use of the Village of Warwick property, facilities and/or services.

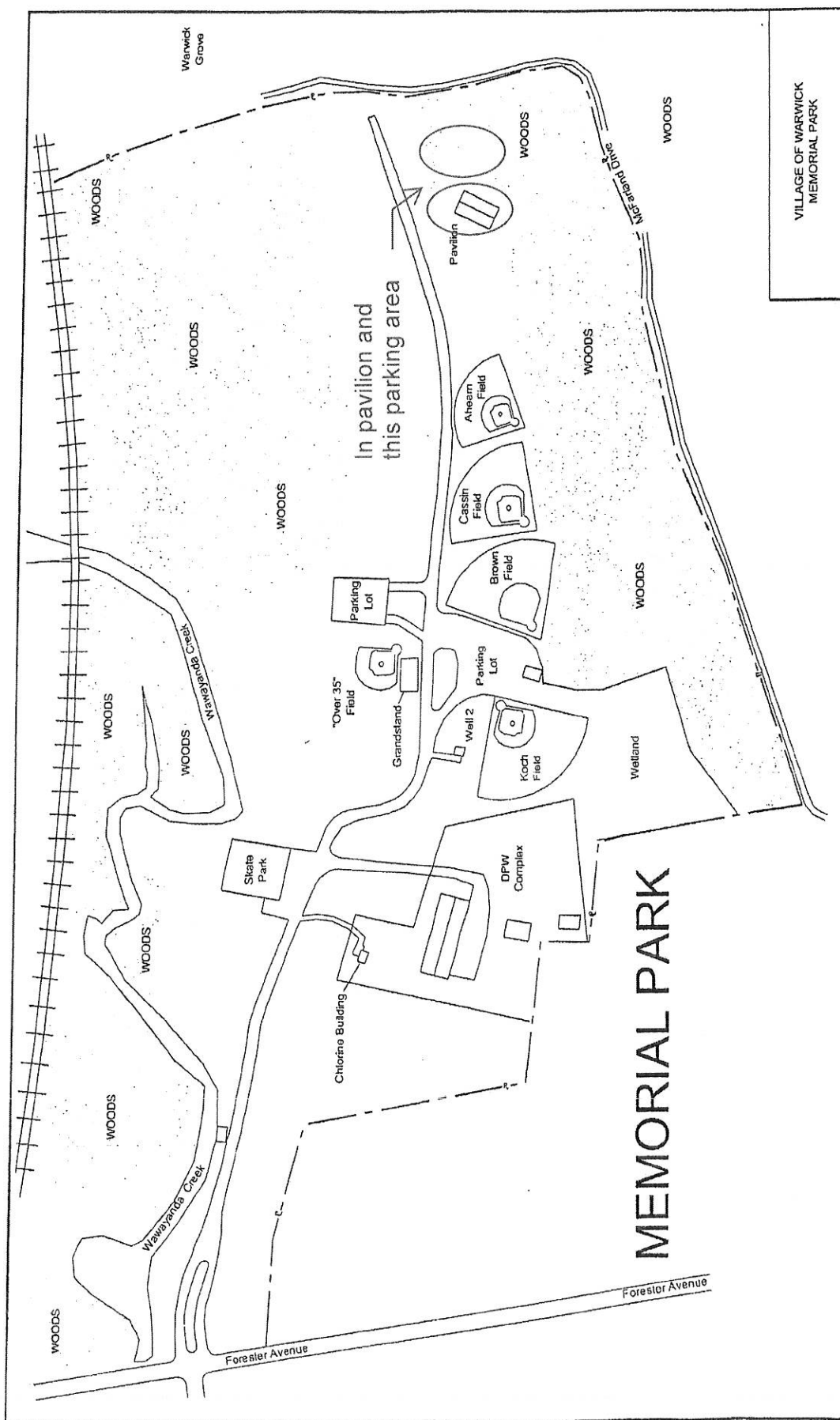
I have read the Facilities Use Requirements



Signature



Date



8/12/20

Village of Warwick Board of Trustees
77 Main St.
Warwick, NY 10990

To Whom it May Concern,

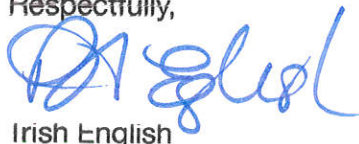
Please accept this as my request to use the Veterans Memorial Park Pavilion as a fitness training facility. I am a certified personal trainer and group fitness instructor for over 25 years. Due to the COVID closures, all gyms I worked for are closed.

Starting immediately, I would like to be able to use the facility every Tues-Thurs from 6:15-8pm and Saturdays &/or Sundays from 9:15-10:45 am and continue until temperatures permit. (early December).

I understand Fit Body Bootcamp is currently permitted to use the same facility every day from 6-9am and 4-6pm through October. If possible, once that date has passed, if you allow, I'd like to be able to use the facility earlier at 5:30 pm and 8:30 am respectfully.

Thank your for consideration.

Respectfully,



Irish English

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AUG 12 2020

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VILLAGE CLERKS OFFICE

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clerk@villageofwarwick.org

VILLAGE OF WARWICK

INCORPORATED 1867

FACILITY USE REQUEST

Today's Date: 8/6/20 Date(s) Requested: 8/17-11/30 Time of Event: Daily 9:15-11:00am
Set Up Time: 9:15/6:15 Break Down Time: 10:45/8pm 6:15-8pm

Village Park/Facility Requested: Memorial Park Pavilion

*Please use attached map to indicate areas to be used.

Name of Event (Purpose of Use): Fitness Training

Name of Organization or Individual: Patricia English (Trish)

Check one: ☐ Non-Profit ☐ 501(c)3 ☒ For Profit ☐ Private Event

Proof of Residency: ✓ Designated Contact: Trish English

Mailing Address: 32 Weathervane Way Warwick

Email: jimmye1@optonline.net

Telephone Day: 845 649-7984 Evening: Same

Cell: Same

Total Participants Expected: Adults: 5+ (varies) Children: 0

Village of Warwick Participants (Number): _____ Non-Resident Participants (Number): _____

How will event be advertised? private invite

Is material or equipment required from the Village of Warwick? ☐ Yes ☒ No

If needed, state type and for what purpose: _____

Is admission fee charged? ☐ Yes ☒ No

If so, what will proceeds be used for? _____

Will food be served? ☐ Yes ☒ No

If yes, please give details: _____

The undersigned is over 21 years of age and has read this form and attached regulations and agrees to comply with them. He/she agrees to be responsible to the Village of Warwick for the use and care of the facilities. He/she, on behalf of Patricia English (Name of Organization) does hereby covenant and agree to defend, indemnify and hold harmless the Village of Warwick from and against any and all liability, loss, damages, claims, or actions (including costs and attorneys' fees) for bodily injury and/or property damage, to the extent permissible by law, arising out of or in connection with the actual or proposed use of Village's property, facilities and/or services by Patricia English (Name Organization).

Patricia English

Signature of Organization's Representative (Must be a Village of Warwick Resident)

Address: 32 Weathervane Way Warwick, NY Telephone: 845-649-7984

Clerk Use Only: Security deposit check # CASH

Certificate of Insurance ✓

Police approval (if applicable) N/A

*Items on file in the Clerk's office

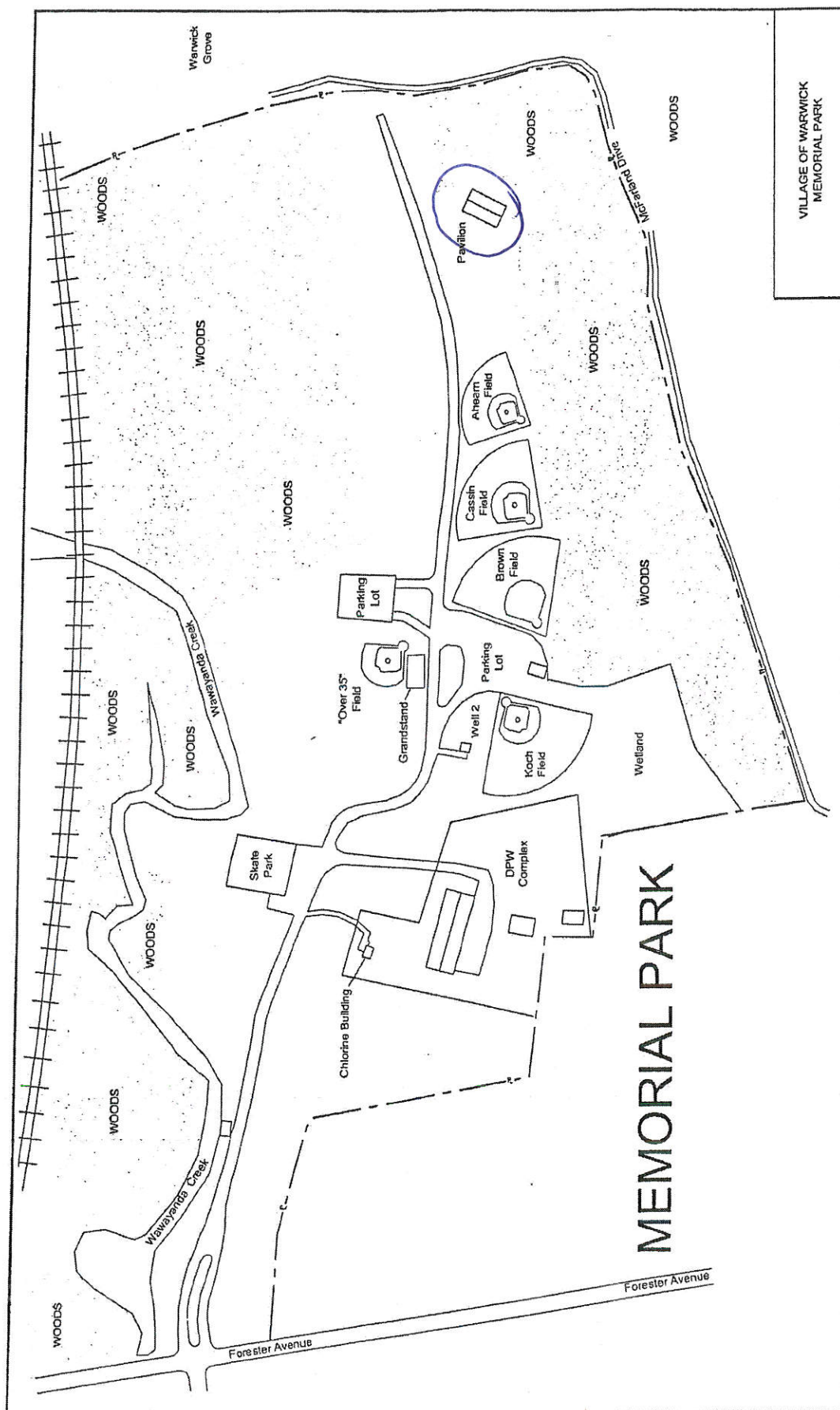
22. In the event of an accident, please notify the Village Clerk before the end of the next business day.

FACILITY USER does hereby covenant and agree to defend, indemnify and hold harmless the Village of Warwick from and against any and all liability, loss, damages, claims, or actions (including costs and attorneys' fees) for bodily injury and/or property damage, to the extent permissible by law, arising out of or in connection with the actual or proposed use of the Village of Warwick property, facilities and/or services.

I have read the Facilities Use Requirements

R English
Signature

8/12/20
Date



**VILLAGE OF WARWICK
LOCAL LAW NO. __ OF THE YEAR 2020**

A local law to amend Village Code Chapter 135, "Vehicles and Traffic" to add traffic safety regulations and traffic control devices.

Section 1. Purpose:

The purpose of this local law is to promote the public health, safety and welfare by amending Village Code Chapter 135, "Vehicles and Traffic" to add traffic safety regulations and traffic control devices.

Section 2. Amendment Of Village Code:

Village Code Chapter 135, "Vehicles and Traffic", is hereby amended as follows:

(A.) Article II, "Traffic and Pedestrian Control", Section 135-4, "Installation, maintenance and operation of traffic control signals", is hereby amended to include the following except the existing header:

Name of Street	Direction of Travel	At Intersection with
Galloway Road	West	Oakland Avenue
Oakland Avenue	North and South	Galloway Road
Galloway Road	East and West	South Street
South Street	North and South	Galloway Road
Maple Avenue	North and South	Colonial Avenue
Colonial Avenue	West	Maple Avenue

(B.) Article II, "Traffic and Pedestrian Control", Section 135-5, "One-way roadways designated" is hereby amended as follows:

- (i.) Delete "Church Street West from Forester Avenue to Main Street" and add in its place "Church Street West from Main Street to Forester Avenue";
- (ii.) Delete "High Street East from Main Street to Forester Avenue" and add in its place "High Street East from Forester Avenue to Main Street";
- (iii.) Add the following except the existing header:

Name of Street	Direction of Travel	Limits
Coe Circle	West	Begin and end at Cowdry Street
Mistucky Circle	West	From Cowdry Street to Cornbury Street
Sly Street	South	From Long House to Cropsey Street
Swift Street	North	From Sly Street to Long House Road

(C.) Article V, "Turning Movements", Section 135-8, "Right turns only permitted at certain locations", is hereby amended as follows:

(i.) Delete the following except the existing header:

Name of Street	Direction of Travel	At Intersection of	Time Limits
Wheeler Avenue	North	Main Street	All times

(ii.) Add the following except the existing header:

Name of Street	Direction of Travel	At Intersection of	Time Limits
Wheeler Avenue	South	Main Street	All times
South Street & High Street Intersection	North	Main Street	All times

(D.) Article VI, "Stop and Yield Intersections", Section 135-11, "Through highways designated: stop and yield signs", is hereby amended as follows:

(i.) Delete the following streets and related information except the existing header:

Name of Through Highway	Name of Entrance Street	Direction From Which Entering	Type of Traffic Control Device
Galloway Road	South Street	South	Stop sign

Galloway Road	South Street Extension	North	Stop sign
Main Street	Colonial Avenue	West	Stop sign
Main Street	West Street	East	Stop sign
Oakland Avenue	Galloway Road	West	Stop sign

(ii.) Add the following streets and related information except the header:

Name of Through Highway	Name of Entrance Street	Direction From Which Entering	Type of Traffic Control Device
Park Avenue	Park Way	North	Stop sign
Cornbury Street	Mistucky Circle	West	Stop sign
Cowdry Street	Cornbury Street	South	Stop sign
Cowdry Street	Cornbury Street	North	Stop sign
Cropsey Street	*Clubhouse Street [*FN - Street not named on tax map]	North	Stop sign.
Cropsey Street	Sly Street	South	Stop sign
Hudson Street	*Clubhouse Street [*FN - Street not named on tax map]	South	Stop sign
Hudson Street	Aske Street	South	Stop sign
Hudson Street	Bridge Street	South	Stop sign
Hudson Street	Cropsey Street	South	Stop sign
Long House Road	Swift Street	North	Stop sign
McFarland Drive	Cropsey Street	West	Stop sign
McFarland Drive	Hudson Street	West	Stop sign
McFarland Drive	White Oak Street	West	Stop sign

White Oak Bridges Street North Stop sign

White Oak Swift Street North Stop sign

(iii.) Under the listing: "Main Street....Grand Union parking lot....West....Stop sign", replace "Grand Union parking lot" with "CVS parking lot" .

(iv.) Replace the listing: "Overlook Drive....Weffing Avenue....North....Stop sign", with "Orchard Street....Welling Avenue....North....Stop sign".

(E.) Article VI, "Stop and Yield Intersections", Section 135-12, "Stop intersections designated", is hereby amended to add the following except the header:

Stop Sign on	Direction of Travel	At Intersection of
Aske Street	Both	Cropsey Street
Aske Street	North	Long House Road
Bridges Street	Both	Cropsey Street
Coe Street	North	Cowdrey Street
Cowdrey Street	Both	Longhouse Road
Cropsey Street	Both	Aske Street
Cropsey Street	Both	Bridges Street
Cropsey Street	West	Sly Street
Hudson Street	East	Longhouse Road
Long House Road	Both	Hudson Street
Long House Road	South	Cowdrey Street
Long House Road	West	Aske Street
McFarland Road	North	Hudson Street

(F.) Article VIII, "Parking, Standing and Stopping", Section 135-18, "Parking prohibited at all times in certain locations", is hereby amended as follows under the existing header:

		Name of Street	Side	Location
(i.)	Delete:	South Street	Both	From First Street to Railroad Street
(ii.)	Add:	South Street	Both	From First Street to Railroad Avenue

(G.) Article VIII, "Parking, Standing and Stopping", Section 135-19.1, "Loading and unloading zones established", is hereby repealed and re-enacted to read as follows:

"A. The following loading and unloading zones shall be "No Parking-Loading/Unloading Zone, Monday – Saturday 6:00 a.m. to 6:00 p.m."

Name of Street	Side	Location
Bank Street	South	From a distance starting at a point 35 feet from the curbline of South Street running a distance of 55 feet.
First Street	North	From a distance starting at a point 76.3 feet from the intersection of South Street on the westerly side and running a distance of 83 feet therefrom
McEwen Street	North	From a point 15 feet westerly from the intersection of Main Street and running a distance of 51 feet west thereof.
Railroad Avenue	South	From a point 133 feet west of the western curbline of South Street to a point 194 feet west thereof

B. The parking, standing or stopping of motor vehicles, except for the loading or unloading of merchandise or other property from a vehicle for no longer than 30 minutes, is prohibited at any of the following locations:

First Street	North	From a point 57 feet east of the intersection of Oakland Avenue to a point 95 feet east of the intersection of Oakland Avenue, with a time limit of 20 minutes
Spring Street	East	From the northern intersection of McEwen Street to a point 64 feet northerly thereof, 24

hours a day, seven days a week.”

- (H.) Article VIII, “Parking, Standing and Stopping”, Section 135-19.2, “Parking zone for official Village business established”, is hereby amended as follow:

- (i.) Add the following under the existing header:

Name of Street	Side	Location
Main Street	West	From a point 30 feet southerly from the southerly line of Wheeler Avenue to a point 70 feet south thereof.

- (ii.) Delete the following except the existing header:

Name of Street	Side	Location
Main Street	East	From a point 200 feet southerly from the southerly line of High Street to a point 52 feet south thereof.
Main Street	East	From the center line of West Street to a point 23 feet north thereof.

- (I.) Article VIII, “Parking, Standing and Stopping”, is hereby amended to add a new Section 135-19.2.1, entitled “Parking reserved for Village personnel only”, which shall state as follows:

“Name of Street	Side	Location
Wheeler Avenue	North	From a point 42 feet west of Main Street on the north side for a distance of 56 feet.
Wheeler Avenue	South	From a point 55 feet west of Main Street on the south side for a distance of 60 feet.”

- (J.) Article VIII, “Parking, Standing and Stopping”, Section 135-19.3, “Parking for handicapped; penalties for offenses”, is hereby amended as follow:

- (i.) In subsection "A", the following entries are deleted except for the existing header:

Name of Street	Side	Location
JPMorgan Parking Lot	Spot No. 15	from a point 45 feet south of South Street and 45 feet northeast of Caboose, also known as Spot No. 15.

McEwen Street	North	Beginning at a point 44 feet from the easterly/curbline of Spring Street to a point 67 feet past thereof with a time limit not to exceed 2 hours.
North Street	North	Beginning at a point 44 feet from the easterly curbline of Spring Street to a point 67 feet east thereof, with a time limit not to exceed 2 hours.
Railroad Avenue	South	from a point 57 feet west of the intersection of South Street to a point 77 feet west of the intersection of South Street.
Second Street	North	from a point 14 feet west of its intersection with South Street to a point 20 feet west thereof.
South Street Parking Lot		Second parking space on north side of parking lot facing Waywayanda Creek and closest to South Street
South Street Parking Lot		First parking space in first row of parking from South Street on south side of lot closest to railroad tracks.
Wheeler Avenue	South	from a point 60 feet west from the westerly curbline of Main Street to a point 22 feet west thereof.

- (ii.) In subsection "A", the following entries are added under the existing header:

Name of Street	Side	Location
Chase Parking Lot		From a point 61 feet east of South Street to a point 81 feet

thereof.

North Street	North	Starting 60 feet from Cottage Street to a point 20 feet north thereof with a time limit not to exceed 2 hours.
Railroad Avenue	South	From a point 75 feet west of the intersection of South Street to a point 95 feet west.
Second Street	North	From a point 14 feet west of its intersection with South Street to a point 34 feet west thereof.
South Street Parking Lot		Third parking space in the north side of parking lot facing Waywayanda Creek closest to South Street
Wheeler Avenue	South	From a point 35 feet west from the westerly curbline of Main Street to a point 55 west thereof.
Park Avenue	West	From a point 114 feet south of the curbline of Burt Street to a point 162 feet thereof.
Park Avenue	West	From a point 202 feet south of the curbline of Burt Street to a point 238 feet thereof.
Parkway	East	From a point 48 feet south of the curbline of South Street to a point 71 feet south thereof.
Parkway	East	From a point 194 feet south of the curbline of South Street to a point 210 feet south thereof.

(iii.) Subsection "B", is hereby repealed and re-enacted to provide:

"B. Every person convicted of violating this section shall be subject to a fine of \$100 or by imprisonment of not more than 15 days, or by both such fine and imprisonment."

(iii.) Subsection "C", is hereby repealed and re-enacted to read as follows:

"C. Additional regulations at post office and for private property; penalties for offenses.

1. It shall be a violation for any person to stop, stand or park a vehicle in any area designated as a place for handicapped parking in the parking areas of CVS, the United States Post Office or any private property for which site plan approval has been granted by the Village, except for those vehicles used for the transportation of handicapped persons.

2. Every person convicted of violating this subsection shall be subject to a fine of \$100."

(K.) Article VIII, "Parking, Standing and Stopping", Section 135-19.4, "Stopping prohibited at all times in certain locations", is hereby amended as follow to add the following after the existing header:

Name of Street	Side	Location
Main Street	West	From a point 36 feet south of the curbline of West Street to a point 51 feet thereof.
Main Street	East	From a point 42 feet north of the southern intersection of West Street to a point 51 feet north thereof.

(L.) Article VIII, "Parking, Standing and Stopping", is hereby amended to add a new Section 135-19.5, entitled "Electric Vehicle Charging Station; Electric Vehicles ", which shall read as follows:

"135-19.5 Electric Vehicle Charging Station; Electric Vehicles

A. The following locations are hereby designated as municipal off-street electric vehicle parking spaces at which only the parking of electric vehicles actively engaged in charging shall be permitted:

(1) South Street Parking Lot north end : two spaces.

- B. No person shall stop, stand, or park a vehicle other than an electric vehicle within any parking space designated as a municipal off-street electric vehicle parking space. Unless otherwise specifically provided for, any person found guilty of parking, stopping or standing in a vehicle other than an electric vehicle in a municipal off-street electric vehicle parking space shall be fined \$100.
 - C. No person shall park an electric vehicle in a parking space designated as a municipal off-street electric vehicle parking space unless such electric vehicle is in the process of charging. Unless otherwise specifically provided for, any person found guilty of parking an electric vehicle in a municipal off-street electric vehicle parking space while not in the process of charging shall be fined \$50.
 - D. No person shall park in a space designated as a municipal off-street electric vehicle parking space for more than three continuous hours regardless of whether or not the electric vehicle is the process of charging. Unless otherwise specifically provided for, any person found guilty of parking an electric vehicle in a municipal off-street electric vehicle parking space for more than three continuous hours, whether or not the electric vehicle is the process of charging, shall be fined \$50.
 - E. Electric vehicles may be parked in any space designated for public parking, subject to the restrictions that would apply to any other vehicle that would park in that space."
- (M.) Article VIII, "Parking, Standing and Stopping", Section 135-20, "Parking prohibited during certain hours in certain locations", is hereby amended to delete the following except for the existing header:

Name of Street	Side	Between the Hours of	Location
Oakland Avenue	West	6:00 p.m. to 11:00 p.m.	25 feet on either side of the center of Oakland Theater

- (N.) Article VIII, "Parking, Standing and Stopping", Section 135-21, "Parking time limited in certain locations", is hereby amended as follows:
- (i.) Subsection "A" thereof is amended as follows:
 - (a.) In the entry for CVS parking lot upper portion, the "Time Limit" is to be changed from "4 hours" to "4-hour lot limit" with a footnote reading "The Time Limit on parking in the CVS parking lot upper portion shall apply to parking in any space within the upper portion of the lot. Vehicles must exit the upper

portion of the lot after four hours of parking."

(b.) In the entry for CVS parking lot lower portion, the "Time Limit" is to be changed from "12 hours" to "12-hour lot limit" with a footnote reading "The Time Limit on parking in the CVS parking lot lower portion shall apply to parking on any space within the lower portion of the lot. Vehicles must exit the lower portion of the lot after twelve hours of parking."

(c.) In the entry for First Street Parking Lot, the "Time Limit" is to be changed from "12-hour parking" to "3-hour metered parking".

(d.) In the entry for South Street Parking Lot, the "Time Limit" is to be changed from "3 hrs., except Sundays and holidays" to "3-hour lot limit, except Sundays and holidays with a footnote reading "The Time Limit on parking in South Street Parking Lot shall apply to parking on any space within the lot. Except for Sundays and holidays, vehicles must exit the lot after three hours of parking."

(e.) In the entry for Spring Street Parking Lot, the "Time Limit" is to be changed from "12 hours" to "12-hour lot limit" with a footnote reading "The Time Limit on parking in the Spring Street Parking Lot shall apply to parking on any space within the lot. Vehicles must exit the lot after twelve hours of parking."

(f.) In the entry for Wheeler Avenue Parking Lot, the "Time Limit" is to be changed from "12 hours" to "12-hour lot limit" with a footnote reading "The Time Limit on parking in the Wheeler Avenue Parking Lot shall apply to parking on any space within the lot. Vehicles must exit the lot after twelve hours of parking."

(g.) The following entry is to be added below the existing header:

Street	Side	Location	Time Limit
Welling Place	North	From a point 300 feet West of the curblin of Main Street to a point 340 feet thereof.	15 mins.

(h.) The following entries are to be deleted, except for the existing header:

Street	Side	Location	Time Limit
Railroad Avenue	South	Beginning at a point 170 feet east of the easterly curblin of Main Street	15 mins.

to a point 24 feet east
thereof.

Spring Street	West	From a point 10 feet south of the southerly curblin of McEwen Street to a point 114 feet south thereof.	15 mins.
Welling Place	North	From a point 180 feet west of the curblin of Main Street to a point 176 feet west thereof.	15 mins.

(ii.) Subsection "B" is repealed and re-enacted to read as follows:

- "(1) Parking shall be allowed in the Chase Parking Lot on South Street under the following terms and conditions:
 - (a) Except as otherwise provided herein, public parking will be available Monday through Sunday, subject to a 4-hour lot limit [FN - The Time Limit on parking in the Chase Parking Lot shall apply to parking on any space within the lot. Vehicles must exit the lot after four hours of parking];
 - (b) No public parking will be permitted at any time in the four parking spaces reserved by Chase as designated by signs;
 - (c) Spaces designated "Permit Parking Only" will be available for permit parking on a fee basis, as set forth in section "3" below, Monday through Friday from 5:00 a.m. to 6:00 p.m.;
 - (d) Overnight and weekend parking permits will be available as set forth in section "3" below.
- (2) Public parking shall be allowed in the First Street Parking Lot, provided that overnight and weekend parking shall be available only for permit parking on a fee basis, as set forth in section "3".
- (3) Parking permits may be obtained from the Village Clerk during regular working hours upon payment of a yearly fee as set forth in Chapter 63, Fees, to cover the period from January 1 to December 31, and which fee shall be prorated for the unexpired portion of any year. Such annual fee may be amended from time to time upon resolution of the Village Board after public hearing. There shall be an additional annual charge for weekend parking as set forth in Chapter 63, Fees.

- (4) The parking authorized by a parking permit shall be only parking in designated permit-only spaces.
- (5) It shall be unlawful to allow any vehicle to remain parked in the above-mentioned parking lots except during the hours above set forth and for the length of time allowed.
- (6) Violators of the provisions of this Section shall be subject to a fine of \$25 for each offense and their autos shall be towed away and stored at the owner's expense.

(O.) Article IX, "Parking Meters", Section 135-22, "Parking meter zones established", is hereby amended as follows:

(i.) In Subsection "A", the "Parking Time Limit" of all meters shall be listed as "2" hours.

(ii.) The following shall be added below the existing header:

Name of Street	Side	Location	Parking Time Limit (hours)	Hours of Meter Operation
Welling Street	North	from a point 180 feet west of Main Street to a point 300 feet thereof.	8:00 a.m. to 6:00 p.m. except Sundays and holidays	2

(iii.) In Subsection "B", the time limit for the First Street Parking Lot shall be changed from 2 hours to 3 hours.

(P.) Article IX, "Parking Meters", Section 135-23, "Parking meter fees", is hereby repealed and re-enacted to read as follows:

"Fees in highway and parking lot parking meter zones. The following parking meter fees are established in parking lot and highway parking meter zones: All parking meter fees are \$0.25 for 60 minutes."

(Q.) Article IX, "Parking Meters", Section 135-24, "Operation of meter", Subsection "C", is hereby repealed and re-enacted to read as follows:

"C. Parking time limits. Any vehicle parking in any designated parking space in a three-hour parking meter zone shall be parked within the lines marked on the street or curb and may occupy said space during the parking limit not to exceed three hours, and any vehicle parking in any designated parking space in a two-hour parking meter zone shall be parked within the lines marked on the street or curb and may occupy said space during the parking limit for a time not to exceed two hours. Failure to deposit the proper fee shall constitute a violation of this

chapter. Upon the expiration of the legal parking time, it shall be the duty of the owner or driver of the vehicle forthwith to remove the vehicle from the parking space, and it shall be unlawful for any person to cause, allow, permit or suffer any such vehicle registered in his name to be parked overtime or remain therein beyond the parking time limit prescribed by this chapter”

(R.) Article IX, “Parking Meters”, Section 135-26, “Deposit of fee”, is hereby amended as follows:

(i.) Paragraph 4 of Subsection A, “Deposit of fee required”, is hereby repealed and re-enacted to read:

“It shall be unlawful and an offense for any person to deposit or cause to be deposited in a parking meter any coins for the purpose of extending the parking time beyond the total lawful parking period not to exceed three hours in a three-hour parking meter zone and two hours in a two-hour parking meter zone.”

(ii). The amount of the fine imposed in Paragraph 2 of Subsection C, “Parking fines”, is hereby changed from \$5 to \$10.

(iii). A new Paragraph 2 shall be added to Subsection C, “Parking fines”, which shall read as follows:

“Every person convicted of parking a vehicle in two metered parking spaces (that is, not wholly within a parking meter space as marked and partially within an adjoining metered parking space) shall be punished by a fine of \$25.” And existing Paragraphs 2, 3 and 4 of Subsection C, “Parking fines”, shall be renumbered as Paragraphs 3, 4 and 5 respectively.

(S.) Article XII, “Truck Route and Commercial Bus Route Systems”, Section 135-34.1, “Commercial bus route system established”, Subsection A, is hereby amended to delete the following entries, except for the existing header:

Name of Street	Location
Colonial Avenue	From Main Street to the village line

(T.) Article XIV, “Pavement Markings, Section 135-37, “Application of pavement markings authorized”, is hereby amended to repealed and re-enacted to read as follows:

“Pavement markings in accordance with the standards and specifications established by the Department of Transportation shall be applied on certain highways or portions of highways, and on all Village park roadways as provided on a list maintained in the office of the Village Clerk, which list may be amended from time to time by resolution of the Village Board; such list shall be deemed incorporated herein by reference.”

Section 3. Severability:

If any part or provision of this local law or the application thereof to any person or circumstance be adjudged invalid by any court of competent jurisdiction, such judgment shall be confined in its operation to the part or provision or application directly involved in the controversy in which such judgment shall have been rendered and shall not affect or impair the validity of the remainder of this local law or the application thereof to other persons or circumstances, and the Village Board of the Village of Warwick hereby declares that it would have passed this local law or the remainder thereof had such invalid application or invalid provision been apparent.

Section 4. Effective Date:

This Local Law shall become effective upon filing with the Secretary of State of the State of New York subsequent to having been duly adopted by the Village Board.



WARWICK VALLEY CHAMBER OF COMMERCE INC.

25 SOUTH STREET • WARWICK, NY 10990

PHONE: 845-986-2720 • FAX: 845-986-6982

WEB ADDRESS: www.warwickcc.org • E-mail: info@warwickcc.org

August 11, 2020

The Honorable Michael Newhard
Mayor of the Village of Warwick
Village Board of Trustees
PO Box 369
Warwick, New York 10990

Dear Mayor Newhard and Board of Trustees;

The Warwick Valley Chamber of Commerce would like to formally request permission to hold the Warwick Valley Farmers' Market at the South Street Parking Lot on October 4, 2020 due to the cancelation of Applefest.

I have requested that WRG Sanford Insurance Company send you the required Certificate of Insurance.

We thank you in advance for all your cooperation over the years with Farmers' Market and look forward to seeing you at the Market.

Thank you for your attention to this matter.

Very truly yours,

Michael Johndrow, Executive Director
Warwick Valley Chamber of Commerce

RECEIVED

AUG 11 2020

VILLAGE OF WARWICK
VILLAGE CLERKS OFFICE

Raina Abramson

From: Charitable Gaming <charitablegaming@gaming.ny.gov>
Sent: Tuesday, August 11, 2020 9:11 PM
Subject: RCF – Raffle Consent Form for Music for Humanity
Attachments: Music For Humanity GC-RCF August 2020.pdf

Good evening;

Please see attached **RCF – Raffle Consent Form** for Music for Humanity. They are requesting authorization to sell raffle tickets within your jurisdiction. Please approve or deny their request on **Part A only**, and send the completed form back to the Commission.

The GC-RCF Municipality Checklist is for Commission use only, and is included to indicate to you that the organization has requested authorization from your municipality.

If you have specific questions regarding the conduct of raffle tickets sales, please contact the organization directly.

Do not hesitate to contact me should you have questions regarding the form.

Regards,

Stacy Harvey
Director, Division of Charitable Gaming
New York State Gaming Commission
1 Broadway Center, Schenectady, NY 12305
(518) 388-0195 | stacy.harvey@gaming.ny.gov |
www.gaming.ny.gov



NEW YORK
STATE OF
OPPORTUNITY.

**Gaming
Commission**

**Division of
Charitable
Gaming**

To: Municipal Clerk

From: NYS Gaming Commission; Division of Charitable Gaming

Date: August 11, 2020

Re: GC-RCF: Raffle Consent Form

Organization Name: Music for Humanity

GC 33 306 499 09776
(Identification Number, if required)

Pursuant to the requirements of General Municipal Law Section 189(13) (b), the above referenced authorized organization has requested permission to sell raffle tickets and/or conduct a raffle drawing outside the premises of an authorized organization or an authorized games of chance lessor, within your territorial limits.

Please ***approve or deny*** the proposed raffle ticket sales and/or raffle drawing and sign the attached **GC-RCF: Raffle Consent Form**. Retain a copy for your records and return a copy to the NYS Gaming Commission ("the Commission") within ten (10) days of the date of this notice. Upon receipt by the Commission, completed forms will be sent to the organization.

Failure to return the **GC-RCF: Raffle Consent Form** to the Commission within the time allotted will be deemed approval for the organization to conduct the requested raffle ticket sales and/or raffle drawing.

Should you have any questions regarding the conduct of the proposed raffle ticket sales and/or raffle drawing, please contact the organization directly at the number listed on the **GC-RCF: Raffle Consent Form**.

If you have any additional questions or concerns regarding the **GC-RCF: Raffle Consent Form**, contact the Division of Charitable Gaming at: charitablegaming@gaming.ny.gov

Mail, fax or email completed form to: NYS Gaming Commission, Division of Charitable Gaming, P.O. Box 7500, Schenectady, NY 12301-7500 • (518) 347-1469 • charitablegaming@gaming.ny.gov



**Gaming
Commission**

Pg 1 of 5

GC-RCF Municipality Checklist

Name of Organization: MUSIC FOR HUMANITY

GC 33-306-499-09776
(Identification Number, if required)

Calendar Year: 2020

Instructions: Column A of this *GC-RCF Municipality Checklist* must be completed along with *GC-RCF: Raffle Consent Form* by an authorized organization that intends to sell raffle tickets or conduct a raffle drawing in a municipality other than the city, town or village within which it is domiciled. You **MUST** indicate if the municipality is a **CITY, TOWN** or **VILLAGE**. Complete only Column A.

This *GC-RCF Municipality Checklist*, along with *GC-RCF: Raffle Consent Form*, must be submitted to the NYS Gaming Commission at least **45 days prior** to the start of such raffle ticket sales or raffle drawing. The checklist and consent form will be returned to the organization by the Commission upon approval or denial by the respective municipalities.

(A)	(B)	(C)	(D)	(E)
Name of Municipality (Indicate City, Town or Village and County)	Approved	Approved No Response	Denied	Denied No Local Law
TOWN OF CHESTER ORANGE				
" OF WARWICK				
VILLAGE OF WARWICK				
TOWN OF MONROE				
VILLAGE OF MONROE				
TOWN OF WALLKILL				
CITY OF MIDDLETOWN				
VILLAGE OF GOSHEN				
TOWN OF MONTGOMERY				
TOWN OF CRAWFORD				
VILLAGE OF HARRIMAN				
VILLAGE OF PLOMDA				
VILLAGE OF WASHINGTONVILLE				

NYS GAMING COMMISSION USE ONLY:

(Print Name) (Title) (Signature) (Date)

MICHAEL VERNIERI
Certified Public Accountant
9 Oakland Avenue
P.O. Box 630 Warwick, NY 10990
(845) 986 - 7636 • (845) 651 - 7636

Michael Vernieri, CPA
Diane Scocozza

255 Greenwich Avenue
Goshen, NY 10924
(845) 294 - 6922

Michael Newhard, Mayor
Village of Warwick
77 Main Street
P.O. Box 369
Warwick, NY 10990

I have examined the books and records of the Village of Warwick – Justice Court as of May 31, 2019 in order to provide an internal audit to comply with section 2019-a of the Uniform Justice Court Act.

The annual audit checklist is enclosed with this report.

I have found that all reporting and record keeping is being completed in a timely manner and the reports are in compliance with New York State requirements. There were no major record keeping deficiencies discovered in this fiscal year.


August 3, 2020

RECEIVED

AUG 12 2020

VILLAGE OF WARWICK
VILLAGE CLERKS OFFICE

**BOARD OF TRUSTEES
VILLAGE OF WARWICK
August 17, 2020
AGENDA ADDENDUM**

10. **MOTION** to grant the application of New Cingular Wireless PCS, LLC, ("AT&T") pursuant to Village Code §145-120.1(BB) for renewal of a special use permit for the cellular antenna array on the Saint Anthony's Community Hospital building located at 15 Maple Avenue for a period of five (5) years from July 19, 2020 to July 19, 2025.

The vote on the foregoing **motion** was as follows:

Trustee Cheney ____ Trustee Lindberg ____ Trustee Patterson ____

Trustee McManus ____ Mayor Newhard ____



300 Westage Business Center, Suite 380
Fishkill, New York 12524
T 845 896 2229
F 845 896 3672
cuddyfeder.com

Alec R. Gladd, Esq.
agladd@cuddyfeder.com

July 16, 2020

By Email and FedEx

Mayor Michael Newhard
And Members of the Village Board of Trustees
Village of Warwick
77 Main Street
Warwick, New York 10990

Re: New Cingular Wireless PCS, LLC ("AT&T") – Site OR-003
Renewal of Special Use Permit Application
Existing Wireless Telecommunication Facility
Premises: St. Anthony Community Hospital, 15 Maple Avenue
Warwick, New York
Tax ID #: Section 207, Block 1, Lot 3

Dear Mayor Newhard and Members of the Village Board of Trustees:

This letter and enclosures are respectfully being submitted on behalf of New Cingular Wireless PCS, LLC ("AT&T"), in connection with its application requesting relief from the Special Use Permit renewal requirements or in the alternative to renew the previously issued Special Use Permit in accordance with Section 145-120.1(BB) of the Village Zoning Code.

On July 19, 2010, the Village Board granted AT&T's Special Use Permit application and the Building Department issued Building Permit #2010-0099 on August 12, 2010 thereby permitting AT&T to place a wireless telecommunication facility on the rooftop of the existing St. Anthony Community Hospital building located at 15 Maple Avenue in the Village of Warwick (the "Premises"). Subsequent thereto, the Building Department issued two additional permits #2013-0006 and #2016-0071 on February 1, 2013 and June 7, 2016, respectively, permitting AT&T to make minor modifications to its existing facility. AT&T also applied for and received a Special Use Permit renewal in November 2016 for an additional five-year term, which is set to expire July 19, 2020.¹ Copies of the Village Board Resolution, the 2016 renewal and all three (3) Building Permits and the Certificate of Compliance are annexed hereto as Exhibit A.

¹ It is our understanding based on Village correspondence from 2016 that the 2016 renewal was backdated to July 2015 to account for the expiration of the first 5-year term (originally approved in 2010).



July 16, 2020

Page 2

AT&T respectfully submits that its existing co-located facility conforms with the requirements of Section 145-120.1 of the Village Zoning Code. AT&T has submitted herewith a letter certifying to the best of its knowledge and belief that the facility is in compliance with the existing Special Use Permit as well as the terms and conditions thereof and that a Certificate of Compliance has been issued for the existing facility. *See* AT&T Certification Letter annexed as Exhibit B. In addition, AT&T's existing facility provides the requisite signal coverage needed to meet AT&T's current coverage requirements in this area of the Village and is necessary to continue providing AT&T's wireless signal coverage to this area of the Village. Indeed, the existing facility allows AT&T to provide service to its customers living in and traveling through this area of the Village of Warwick, thereby complying with its FCC license requirements as well as other FCC rules and regulations governing wireless facilities. As such and given the provisions of Federal Law, AT&T respectfully requests relief from the Special Use Permit renewal requirements in accordance with Section 145-120.1(BB)(2)(f) or in the alternative that it be renewed indefinitely or at minimum a ten (10) year term.

It should also be noted that this Special Permit renewal request is Type II exempt from the State Environmental Quality Review Act ("SEQRA") and no further environmental review is necessary. *See* 6 NYCRR § 617.5(c)(26).

In support of AT&T's request, please find attached hereto, two (2) copies of the following exhibits:

- Exhibit A: Copies of the July 19, 2010 Village Board of Trustees Resolution granting Special Use Permit Approval for the original installation and the November 7 and November 8, 2016 certified motions of the Village Board of Trustees granting a 5 year renewal as well as copies of Building Permit #'s 2010-0099, 2013-0006 and 2016-0071 and the Certificate of Compliance, dated July 13, 2011;
- Exhibit B: AT&T Compliance Certification Letter, dated July 14, 2020;
- Exhibit C: As-Built drawings prepared by Tectonic Engineering & Surveying Consultants, P.C., dated January 26, 2016, consisting of sheets T-1, A-1 through A-6 and G-1 through G-2. Please note no modification to the site has occurred since 2016.
- Exhibit D: Radio Frequency Safety Survey Report prepared by Waterford Consultants, LLC, dated February 15, 2016, certifying compliance with the FCC standards for wireless telecommunication facilities; and



July 16, 2020
Page 3

Exhibit E: Structural Analysis of Existing Antenna Mounts prepared by Tectonic Engineering & Surveying Consultants, P.C., dated January 12, 2016, certifying that AT&T's existing antenna mounts are adequate to support AT&T's installation.

Please also find enclosed a check made payable to the Village of Warwick in the amount of two thousand five hundred dollars (\$2,500) representing the application renewal fee.

AT&T looks forward to appearing before the Village Board of Trustees at its next available meeting for consideration of this matter. As noted above, and given the provisions of Federal Law, AT&T respectfully requests relief from the Special Use Permit renewal requirements in accordance with Section 145-120.1(BB)(2)(f) or in the alternative that it be renewed indefinitely or at minimum a ten (10) year term. In the interim, should the Village Board or Village Staff have any questions or comments in connection with this application, please do not hesitate to contact me.

Thank you in advance for your consideration of the enclosed.

Very truly yours,

A handwritten signature in blue ink that reads 'Alec Gladd'.

Alec R. Gladd

cc: Village Building Inspector
AT&T (via email)



PO BOX 77159
St Louis, MO 63177

Check Issued Date:

07/15/2020

Check Number:

3323380977



000214/000214/000214 002 01 ACYG55

VILLAGE OF WARWICK

RECEIVER OF TAXES

132 KINGS HWY

WARWICK NY 10990-3115

Pay to:

VILLAGE OF WARWICK
RECEIVER OF TAXES

Supplier Number:

17594702

APCHK

AT&T Accounts Payable Contacts:

Website: <http://paymentstatus.att.com>

Telephone: (888) 722-1787 Speak "Accounts Payable"

INV 14JUL20

07/14/2020

\$2,500.00

RENEWAL OF SPECIAL USE PERMIT



TRA1-D-000214/000214 ACYG55 S1-ET-M1-C00001

THE FACE OF THIS CHECK HAS A BLUE-GRAY SECURITY BACKGROUND



50-937/213

JPMorgan Chase Bank, N.A.
Syracuse, NY

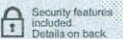
3323380977

07/15/2020

TWO THOUSAND FIVE HUNDRED AND 00/100

CHECK AMOUNT

\$2,500.00



PAY VILLAGE OF WARWICK
TO THE RECEIVER OF TAXES
ORDER OF 132 KINGS HWY
WARWICK NY 10990

BY

AUTHORIZED SIGNATURE

MP

VOID IF NOT CASHED WITHIN 180 DAYS

⑈ 3323380977 ⑈ ⑆021309379⑆ 6301545434509⑈

EXHIBIT A

**Village of Warwick: AT&T Wireless Communication Facility Special Use
Permit Application Findings Statement and Decision**

WHEREAS, on March 17, 2010, an application was submitted to the Village of Warwick Village Board of Trustees by New Cingular Wireless PCS, LLC (hereinafter referred to as AT&T) requesting a special use permit to place a Wireless Communications Facility on the rooftop of St. Anthony Community Hospital and

WHEREAS, on June 7, 2010, a public hearing regarding the application was opened by the Village of Warwick Village Board of Trustees. The public hearing was continued on June 21, 2010 and July 6, 2010. On July 6, 2010, the public hearing was closed.

WHEREAS, on July 2, 2010, the Village of Warwick Architectural Review Board reviewed the application for the special use permit; and

WHEREAS, on July 19, 2010 the Village of Warwick Village Board of Trustees appointed themselves as lead agency to complete the SEQRA requirements and has reviewed and completed the long form EAF.

WHEREAS, on July 19, 2010, the Village Board has deemed the application process complete and NOW, THEREFORE the:

The Village of Warwick Village Board of Trustees HEREBY:

FINDS that all of the public comments regarding the application have been received and considered by the Board during the application and hearing process; and further

FINDS that a negative declaration pursuant to SEQRA review shall be issued; and further

FINDS that the findings of the Village of Warwick Architectural Review Board have been reviewed and shall be adopted by the Village Board of Trustees in its entirety and incorporated into these findings; and further

FINDS: that the above referenced application has been reviewed and approved by the Village Engineer and further finds that the application is in full compliance with Section 145-120.1 of the Village of Warwick Zoning law.

Now THEREFORE on this 19th day of July, 2010, and

Upon all the information contained in the Petition of the special use permit, and all of the submissions contained therein, and all of the information obtained during the public hearings, and all of the findings made by this Board and the Lead Agency, The Village of Warwick Village Board of Trustees hereby grants New Cingular Wireless PCS, LLC a Special Use Permit upon a motion made by Bill Iurato and seconded by George McManus with a vote of 5-0 in favor of the issuance of the Special Permit application.

WOW
Angie

77 Main Street
Post Office Box 369
Warwick, New York 10990
www.villageofwarwick.org

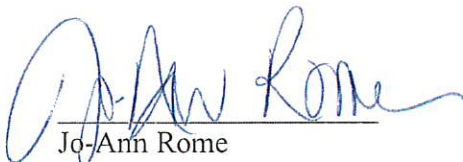


(845) 986-2031
FAX (845) 986-6884
mayor@villageofwarwick.org
clerk@villageofwarwick.org

VILLAGE OF WARWICK
INCORPORATED 1867

A **MOTION** was made by Trustee Patterson, seconded by Trustee Cheney and carried to grant a special use permit to New Cingular Wireless PCS, LLC ("AT&T") for permission to place a cell phone antenna on St. Anthony Community Hospital building located at 15 Maple Avenue in Warwick, NY pursuant to our Local Law 45-120.1(z). Five Ayes.

I, Jo-Ann Rome, Clerk for the Village of Warwick, do hereby certify this to be a true and accurate motion as adopted by the Board of Trustees on November 7, 2016 by unanimous vote and is recorded in the official minute book of the Village of Warwick.


Jo-Ann Rome
Village Clerk

SEAL

77 Main Street
Post Office Box 369
Warwick, New York 10990
www.villageofwarwick.org



(845) 986-2031
FAX (845) 986-6884
mayor@villageofwarwick.org
clerk@villageofwarwick.org

VILLAGE OF WARWICK
INCORPORATED 1867

A **MOTION** was made by Trustee Patterson, seconded by Trustee Cheney and carried to grant a special use permit to New Cingular Wireless PCS, LLC ("AT&T") for permission to place a cell phone antenna on St. Anthony Community Hospital building located at 15 Maple Avenue in Warwick, NY pursuant to our Local Law 45-120.1(z) Five Ayes.

I, BARBARA RANIERI, Deputy Village Clerk of the Village of Warwick, in the County of Orange, State of New York HEREBY CERTIFY that the above motion was made at a regular meeting of the Village Board of the Village of Warwick duly called and held on Monday, NOVEMBER 7, 2016 and has been compared by me with the original minutes as officially recorded in the Village Clerk's Office in the Minute Book of the Village Board and is a true, complete and correct copy thereof and of the whole of said original minutes so far as the same relate to the subject matter.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Warwick this 8th day of November, 2016.

SEAL

Barbara Ranieri
Barbara Ranieri, Deputy Village Clerk

Village of Warwick Building Department
77 Main Street
Warwick, NY 10990
(845) 986 9888

BUILDING PERMIT

Permit Number: 2010-0099

Tax Map Number: 207-1-3

Permit Date: 8/12/2010

Permit Fee: \$0.00

A permit is hereby issued by the Building Department of the VILLAGE OF WARWICK, COUNTY OF ORANGE, NEW YORK, for the structure or property described herein:

15 Maple Ave

This permit is issued to:

Contact Type:

Other

Contractor

Owner

Engineer

Name:

at&t

Conti Communications

St Anthony Hospital

Tectonic Engineering

The filed use for this permit:

Installation of at&t wireless telecommunications antennas on a tower building and associated equipment to include an equipment shed on the lower roof.

Daniel Kelly

Village of Warwick Code Enforcement Official

Building permits are required to be visibly displayed at the work site and to remain visible until the project has been completed.

A permit under which no work has commenced within one (1) year after the issuance shall expire by limitation, and a new permit must be secured before work can begin. It is the responsibility of the owner and/or contractor to comply with all applicable Village Ordinances and to call for the required inspections at least one day in advance.

Village of Warwick Building Department
77 Main Street
Warwick, NY 10990
(845) 986 9888

CERTIFICATE OF COMPLIANCE

Certificate Number: 2010-0099

Address: 15 Maple Ave

Completion Date: 7/13/2011

Section Block Lot: 207-1-3

This certifies that the building or structure located at the premises indicated above, substantially conforms to the approved plans and specifications heretofore filed with this office with application for building permit was issued;

The Occupany/Use for which this certificate is issued to:

Installation of AT&T wireless telecommunications antennas on the tower building and associated equipment to include an equipment shed on the lower roof.

This certificate is issued to:
St Anthony Hospital
15-19 Maple Ave
Warwick, NY 10990

This certificate is issued by:

Daniel Kelly 
Village of Warwick Code Enforcement Official

This Certificate of Compliance only attests as to the legal use and occupancy under the Zoning Law and does not certify as to compliance with all of the requirements of the Building Codes of the State of New York effective this date.

Village of Warwick Building Department
77 Main Street/PO Box 369
Warwick, NY 10990
(845) 986-2031 Ext 107
villagebuilding@warwick.net

BUILDING PERMIT

Permit Number: 2013-0006

Tax Map Number: 207-1-3

Permit Date: 02/01/2013

Permit Fee: \$75.00

A permit is hereby issued by the Building Department of the VILLAGE OF WARWICK, COUNTY OF ORANGE, NEW YORK, for the structure or property described herein:

15 Maple Ave

This permit is issued to:
St Anthony Hospital
Contractor
Black and Veatch Corp

The filed use for this permit:
**Upgrade to the existing wireless communication antennas.
Remove and Replace six antennas, add six remote radio
heads, and add a surge suppression box.
New equipment will be painted to match the existing
equipment.**

Daniel Kelly


Village of Warwick Code Enforcement Official

Building permits are required to be visibly displayed at the work site and to remain visible until the project has been completed.

A permit under which no work has commenced within one (1) year after the issuance shall expire by limitation, and a new permit must be secured before work can begin. It is the responsibility of the owner and/or contractor to comply with all applicable Village Ordinances and to call for the required inspections at least one day in advance.

Village of Warwick Building Department
77 Main Street/PO Box 369
Warwick, NY 10990
(845) 986-2031 Ext 107
building@villageofwarwick.org

BUILDING PERMIT

Permit Number: 2016-0071

Tax Map Number: 207-1-3

Permit Date: 06/07/2016

Permit Fee: \$75.00

A permit is hereby issued by the Building Department of the VILLAGE OF WARWICK, COUNTY OF ORANGE, NEW YORK, for the structure or property described herein:

15 Maple Ave

This permit is issued to:
St Anthony Hospital
Contractor
Black and Veatch Corp

**The filed use for this permit:
AT&T Antenna modification**

Daniel Kelly


Village of Warwick Code Enforcement Official

Building permits are required to be visibly displayed at the work site and to remain visible until the project has been completed.

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EXHIBIT B



Joseph C. D'Alto
*Senior Real Estate and
Construction Manager*

400 Hamilton Avenue
White Plains, NY 10601

T: (516) 702-9195
F: (914) 615-9483

July 14, 2020

Mayor Michael Newhard and Members of the Village Board of Trustees Village of
Warwick

Village Hall
77 Main Street
Warwick, New York 10990

Re: New Cingular Wireless PCS, LLC (AT&T) – Site
OR-003 Renewal of Special Use Permit
Existing Wireless Telecommunication Facility
Premises: St. Anthony Community Hospital, 15 Maple Avenue,
Warwick NY Tax ID: Section 207, Block 1, Lot 3

Dear Mayor Newhard and Members of the Village Board of
Trustees:

Pursuant to Section 145-120.1(BB)(2) of the Village Zoning Code, New Cingular Wireless PCS, LLC (AT&T), hereby certifies to the best of its knowledge and belief that: 1) it is the holder of the Special Use Permit originally granted on July 19, 2010 in connection with the above referenced matter; 2) its existing wireless telecommunication facility, located at the above-referenced Premises, is in compliance with the previously issued Special Use Permit and conditions set forth therein as well as all applicable statutes, laws, rules and regulations; and 3) the existing facility has not been moved, relocated, rebuilt or otherwise modified since the issuance of the original Special Use Permit other than the minor amendments granted under Building Permit # 2013-0006 dated February 1, 2013 and Building Permit #2016-0071 dated June 7, 2016.

Accordingly, AT&T respectfully requests its Special Use Permit for its existing Wireless Telecommunication Facility at the Premises be renewed indefinitely considering the provisions of Federal Law or in the alternative for a new ten (10) year term.

Sincerely,



Proud Sponsor of the U.S. Olympic Team

EXHIBIT C

ENGINEERING

2010 BUILDING CODE OF NEW YORK STATE
NFPA 70 - NATIONAL ELECTRIC CODE
2010 FIRE CODE OF NEW YORK STATE
2010 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE, NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

PROJECT DESCRIPTION

UPGRADE OF EXISTING TELECOMMUNICATIONS FACILITY, INCLUDING INSTALLATION OF (3) REPLACEMENT ANTENNAS, (3) NEW RADIO HEAD UNITS, AND ASSOCIATED APPURTENANCES ON AN EXISTING ROOFTOP. (ADD 4 WAY RX 2C RRH, SWAP LTE ANTENNA FOR OCTOPORT ANTENNA)

SITE INFORMATION

PROPERTY OWNER: ST. ANTHONY COMM. HOSPITAL
ADDRESS: 15-19 MAPLE AVENUE
WARWICK, NY 10990

PROPERTY OWNER: ST. ANTHONY COMMUNITY HOSPITAL

SITE CONTACT: BERNARD BERGER
(845) 363-5928

COUNTY: ORANGE

LATITUDE (NAD 83): 41.25155 FROM
LONGITUDE (NAD 83): -74.3578 RFDS

ZONING JURISDICTION: VILLAGE OF WARWICK

ZONING DISTRICT: CONTINUING CARE
RETIREMENT COMMUNITY

PARCEL #: 207-1-3

OCCUPANCY GROUP: TELECOMMUNICATION FACILITY

POWER COMPANY: ORANGE AND ROCKLAND
(877) 434-4100

TELEPHONE COMPANY: VERIZON
(800) 843-2255

SITE ACQUISITION MANAGER: BLACK & VEATCH
CONNIE GORGA
(913) 458-9078

A/E CONTACT: TECTONIC
GREG LAHEY
(845) 567-6656

ENGINEERING MANAGER: BLACK & VEATCH
PATRICK CONNELL
(913) 458-1881

CONSTRUCTION MANAGER: BLACK & VEATCH
ALDRIC GOMEZ
(913) 458-1806

RF ENGINEER: BLACK & VEATCH
GENE CHANG
(913) 458-1812

RF DATA SHEET NOTE

CONTRACTOR SHALL OBTAIN LATEST RF DATA SHEET AND CONFIRM SAME WITH BLACK AND VEATCH CONSTRUCTION MANAGER PRIOR TO START OF CONSTRUCTION.

CONTACT INFORMATION

ENGINEER: TECTONIC ENGINEERING &
SURVEYING CONSULTANTS P.C.
1279 ROUTE 300
NEWBURGH, NY 12550

CONTACT: MIKE PATEL

PHONE: (845) 567-6656 (EXT. 2808)

SITE NAME: WARWICK CENTRAL NATIONAL SITE ID: NYCWNY4003

CASPR #: 2191A01AIJ, PACE #: MRNYC020071



LTE #: NML03003, FA#:10133512, SITE#:OR-003
LTE AC-ROOFTOP

VICINITY MAP



NTS

LOCAL MAP



NTS

DRAWING INDEX

SHEET NO:	SHEET TITLE
T-1	TITLE SHEET
A-1	SITE PLAN
A-2	EQUIPMENT PLAN
A-3	ELEVATION & MOUNTING DETAILS
A-4	ANTENNA PLANS & SCHEDULE
A-5	PLUMBING DIAGRAMS
A-6	NOTES
G-1	GROUNDING PLAN & NOTES
G-2	GROUNDING DETAILS & ELECTRICAL NOTES

AS-BUILT REDLINE

THE MARK-UP ON THIS DRAWING REFLECTS THE AS-BUILT INSTALLATION.

Subcontractor:	Alexander Flores
Field Coordinator:	
Market Engineer Shall Review Redline Drawings To Ensure Changes Do Not Alter The Original Design-Intent And/Or Are Code Compliant.	
Market Lead Engineer:	

DO NOT SCALE DRAWINGS

THESE DRAWINGS ARE FORMATTED FOR 24"X36". OTHER SIZED VERSIONS ARE NOT PRINTED TO THE SCALE SHOWN. CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

Dig Safely.
New York

800-962-7962
www.digsafelynewyork.com

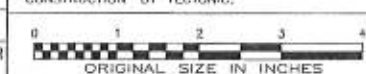
- ☐ Call Before You Dig
- ☐ Wait The Required Time
- ☐ Confirm Utility Response
- ☐ Respect The Marks
- ☐ Dig With Care

SCOPE

LTE 2C

REFER TO LATEST RF DATA SHEET FOR FINAL RF DESIGN & BOM.

THIS SET OF DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL THE DRAWINGS HAVE BEEN MARKED "ISSUED FOR CONSTRUCTION" BY TECTONIC.



NEW CINGULAR WIRELESS PCS, LLC
ONE AT&T WAY
BEDMINSTER, NJ 07921



BLACK & VEATCH

BLACK & VEATCH CORPORATION
650 FROM RD, SUITE 575,
PARAMUS, NJ 07652
UNDER CONTRACT WITH
OVERLAND CONTRACTING INC.

TECTONIC

- PLANNING
- ENGINEERING
- SURVEYING
- CONSTRUCTION MANAGEMENT

TECTONIC Engineering & Surveying Consultants P.C.
1279 ROUTE 300
Newburgh, NY 12550
Phone: (845) 567-6656
Fax: (845) 567-8703
www.tectonicengineering.com

PROJECT NO: 8002.NYCWNY4003
DRAWN BY: MP
CHECKED BY: GL

REV	DATE	DESCRIPTION
1	01/28/14	ISSUED FOR PERMIT



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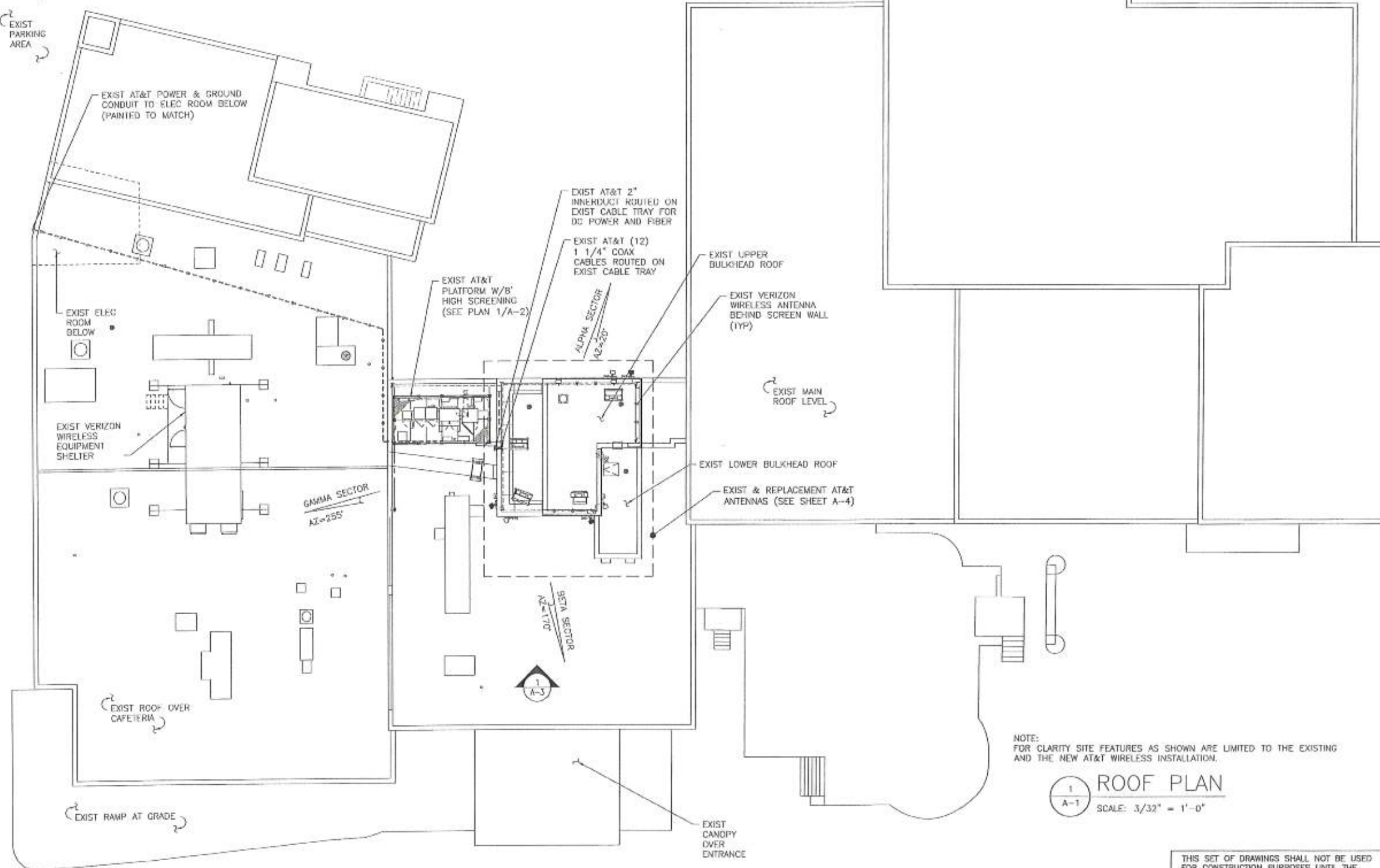
SITE NAME: WARWICK CENTRAL
SITE NO. NYCWNY4003
ADDR: 15 MAPLE AVENUE
WARWICK, NY 10990

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1



NORTH NOTE:
NORTH SHOWN HAS BEEN ESTABLISHED USING
THE USGS QUADRANGLE 7.5 MINUTE MAPS AND
IS APPROXIMATE. VERIFY TRUE NORTH PRIOR
TO INSTALLATION OF ANTENNAS.



NOTE:
FOR CLARITY SITE FEATURES AS SHOWN ARE LIMITED TO THE EXISTING
AND THE NEW AT&T WIRELESS INSTALLATION.

1
A-1
ROOF PLAN
SCALE: 3/32" = 1'-0"

SCOPE
LTE 2C
REFER TO LATEST RF DATA SHEET FOR
FINAL RF DESIGN & ROW.

THIS SET OF DRAWINGS SHALL NOT BE USED
FOR CONSTRUCTION PURPOSES UNTIL THE
DRAWINGS HAVE BEEN MARKED "ISSUED FOR
CONSTRUCTION" BY TECTONIC.

ORIGINAL SIZE IN INCHES



NEW CINCULAR WIRELESS PCS, LLC
ONE AT&T WAY
BEDMINSTER, NJ 07021



BLACK & VEATCH
BLACK & VEATCH CORPORATION
650 FROM RD, SUITE 575,
PARAMUS, NJ 07652
UNDER CONTRACT WITH
OVERLAND CONTRACTING INC.



• PLANNING
• ENGINEERING
• SURVEYING
• CONSTRUCTION MANAGEMENT
TECTONIC Engineering & Surveying Consultants P.C.
12718 ROUTE 300
Newburgh, NY 12550
Phone: (845) 567-8855
Fax: (845) 567-8753
www.tectonicengineering.com

PROJECT NO: 8002.NYCWN4003
DRAWN BY: MP
CHECKED BY: GL

REV	DATE	DESCRIPTION

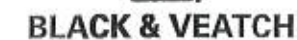
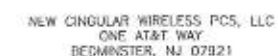


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SITE NAME: WARWICK CENTRAL
SITE NO. NYCWN4003
ADDR: 15 MAPLE AVENUE
WARWICK, NY 10990

SHEET TITLE
SITE PLAN

SHEET NUMBER
A-1



BLACK & VEATCH CORPORATION
650 FROM RD, SUITE 575,
PARAMUS, NJ 07652
UNDER CONTRACT WITH
OVERLAND CONTRACTING INC.

- PLANNING
- ENGINEERING
- SURVEYING
- CONSTRUCTION MANAGEMENT

1201046 Engineering & Surveying Consultants P.C.
1279 ROUTE 300
Newburgh, NY 12550
Phone: (845) 567-5816
Fax: (845) 567-5703
www.taylorengineering.com

PROJECT NO: 8002.NYCWNY4003

DRAWN BY: MP

CHECKED BY:	CL
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REV	DATE	DESCRIPTION
	01/36/16	ISSUED FOR PERMIT

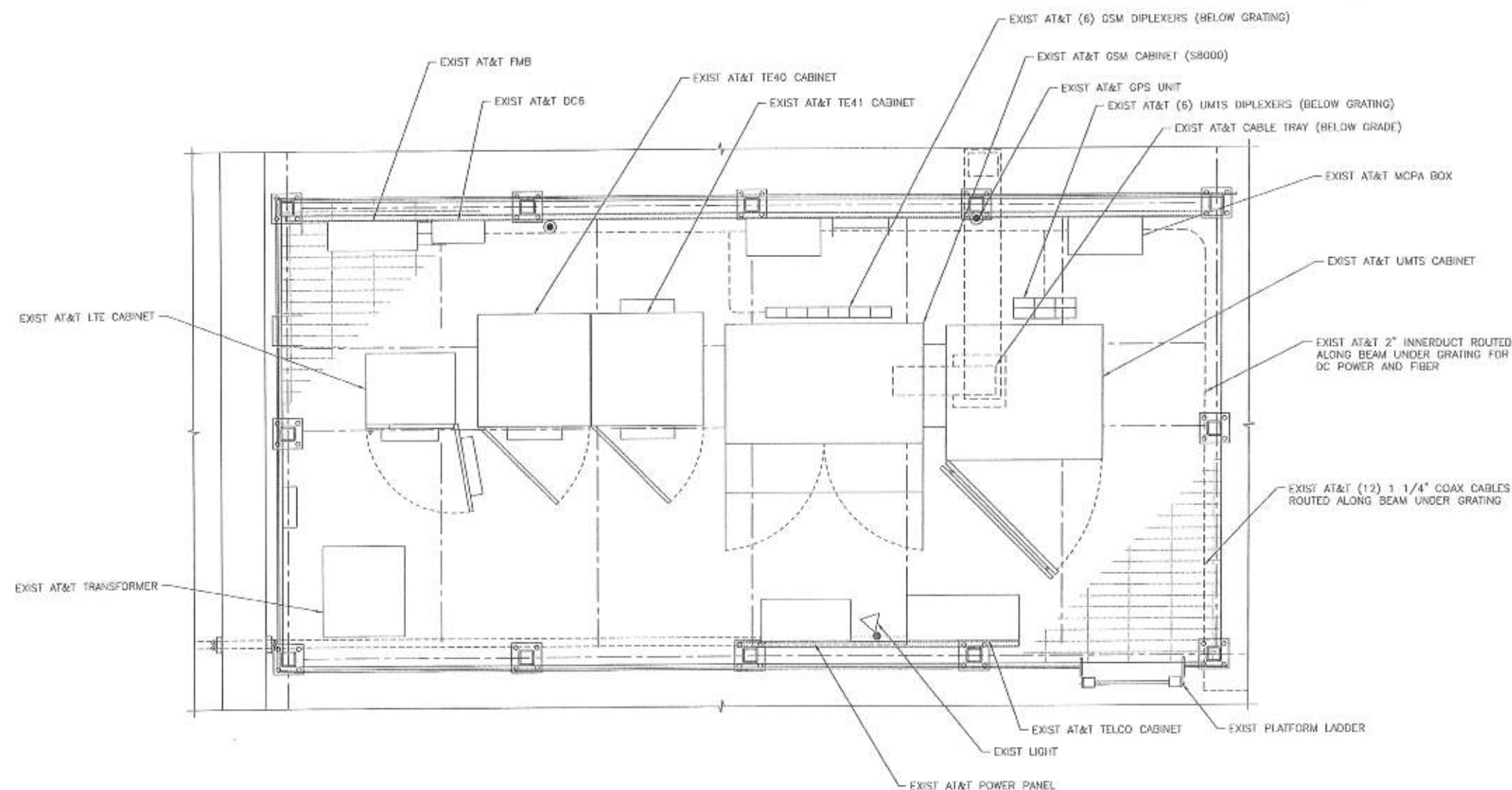


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SITE NAME: WARWICK CENTRAL
SITE NO. NYCWNY4003
ADDR: 15 MAPLE AVENUE
WARWICK, NY 10990

SHEET TITLE
EQUIPMENT PLAN

SHEET NUMBER
A-2



NOTE:
NO WORK IS PROPOSED ON THE EQUIPMENT PLATFORM UNDER THIS SCOPE

1
A-2

EQUIPMENT PLAN

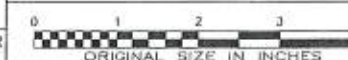
SCALE: 3/4" = 1'-0"

SCOPE

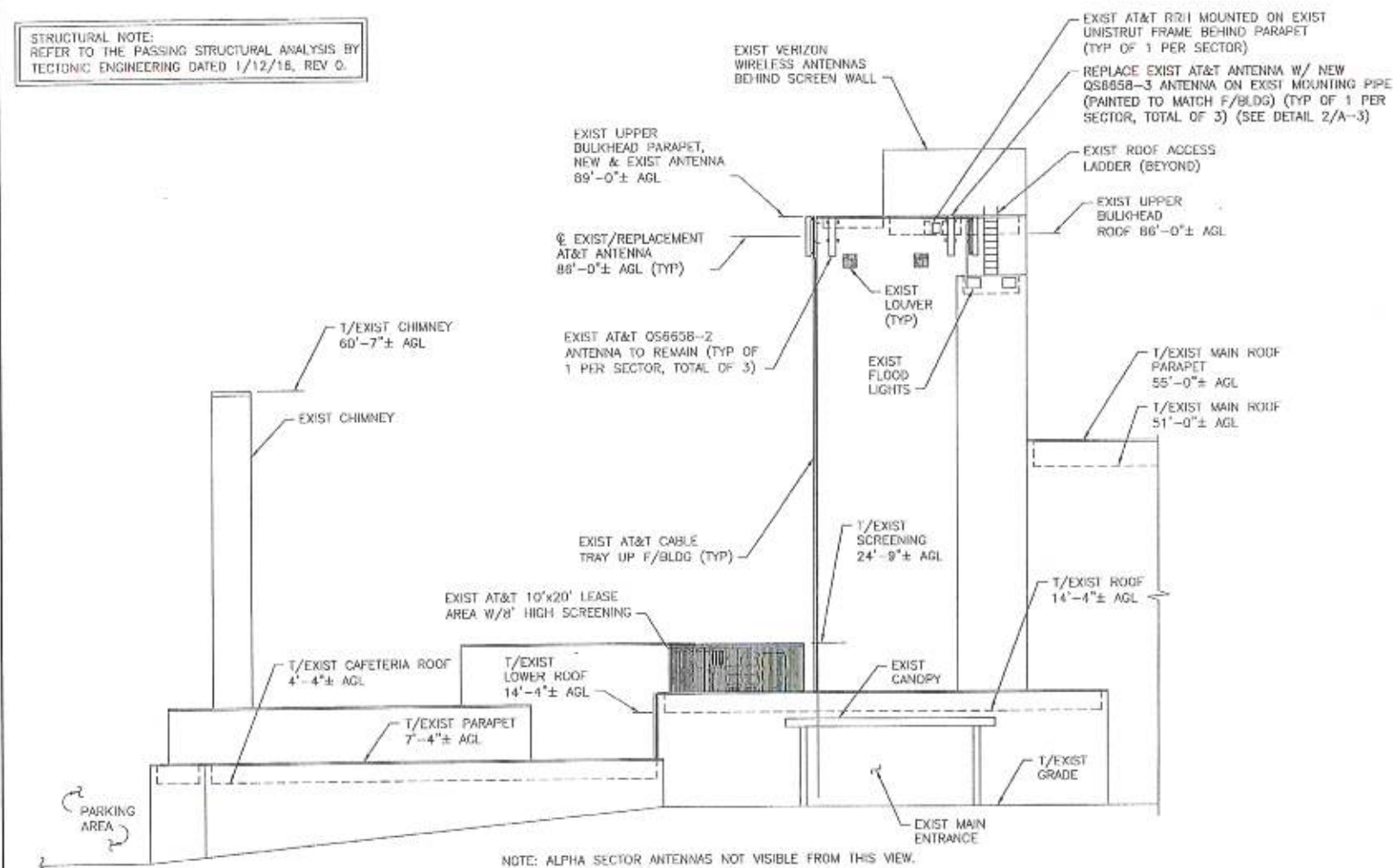
LTE 2C

REFER TO LATEST RF DATA SHEET FOR
FINAL RF DESIGN & BOM.

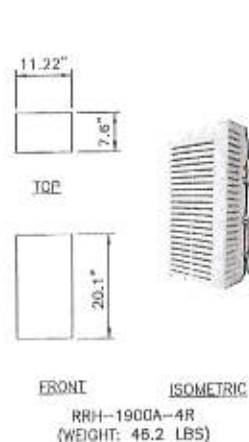
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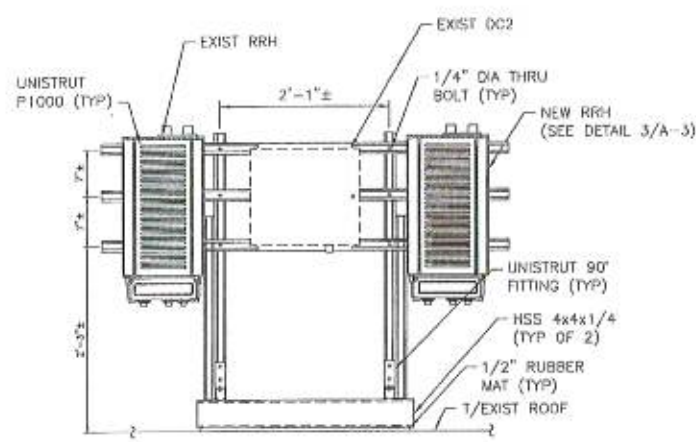
STRUCTURAL NOTE:
REFER TO THE PASSING STRUCTURAL ANALYSIS BY
TECTONIC ENGINEERING DATED 1/12/16, REV 0.



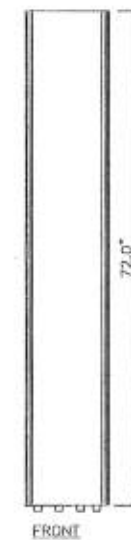
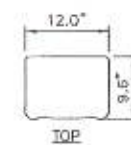
1 ELEVATION
A-3 SCALE: 3/32" = 1'-0"



3 RRH DETAIL
A-3 SCALE: NTS



4 RRH MOUNTING DETAIL
A-3 SCALE: 1" = 1'-0"



2 ANTENNA DETAIL
A-3 SCALE: 1" = 1'-0"

SCOPE
LTE 2C
REFER TO LATEST RF DATA SHEET FOR
FINAL RF DESIGN & BOM.

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DRAWINGS HAVE BEEN MARKED "ISSUED FOR
CONSTRUCTION" BY TECTONIC.

0 1 2 3 4
ORIGINAL SIZE IN INCHES

at&t
NEW CINCULAR WIRELESS PCS, LLC
ONE AT&T WAY
BEDMINSTER, NJ 07921

BLACK & VEATCH
BLACK & VEATCH CORPORATION
650 FROM RD, SUITE 575,
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UNDER CONTRACT WITH
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• ENGINEERING
• SURVEYING
• CONSTRUCTION MANAGEMENT
TECTONIC Engineering & Surveying Consultants P.C.
1274 ROUTE 300
HARDENBURGH, NY 13850
Phone: (845) 887-8858
Fax: (845) 547-5703
www.tectonicsurveying.com

PROJECT NO: B002.NYCWN4003
DRAWN BY: MP
CHECKED BY: CL

REV	DATE	DESCRIPTION



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EMBOSSED SEAL OF THE PROFESSIONAL
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CONSIDERED VALID COPIES.

SITE NAME: WARWICK CENTRAL
SITE NO. NYCWN4003
ADDR: 15 MAPLE AVENUE
WARWICK, NY 10990

SHEET TITLE
ELEVATION &
MOUNTING DETAIL

SHEET NUMBER
A-3

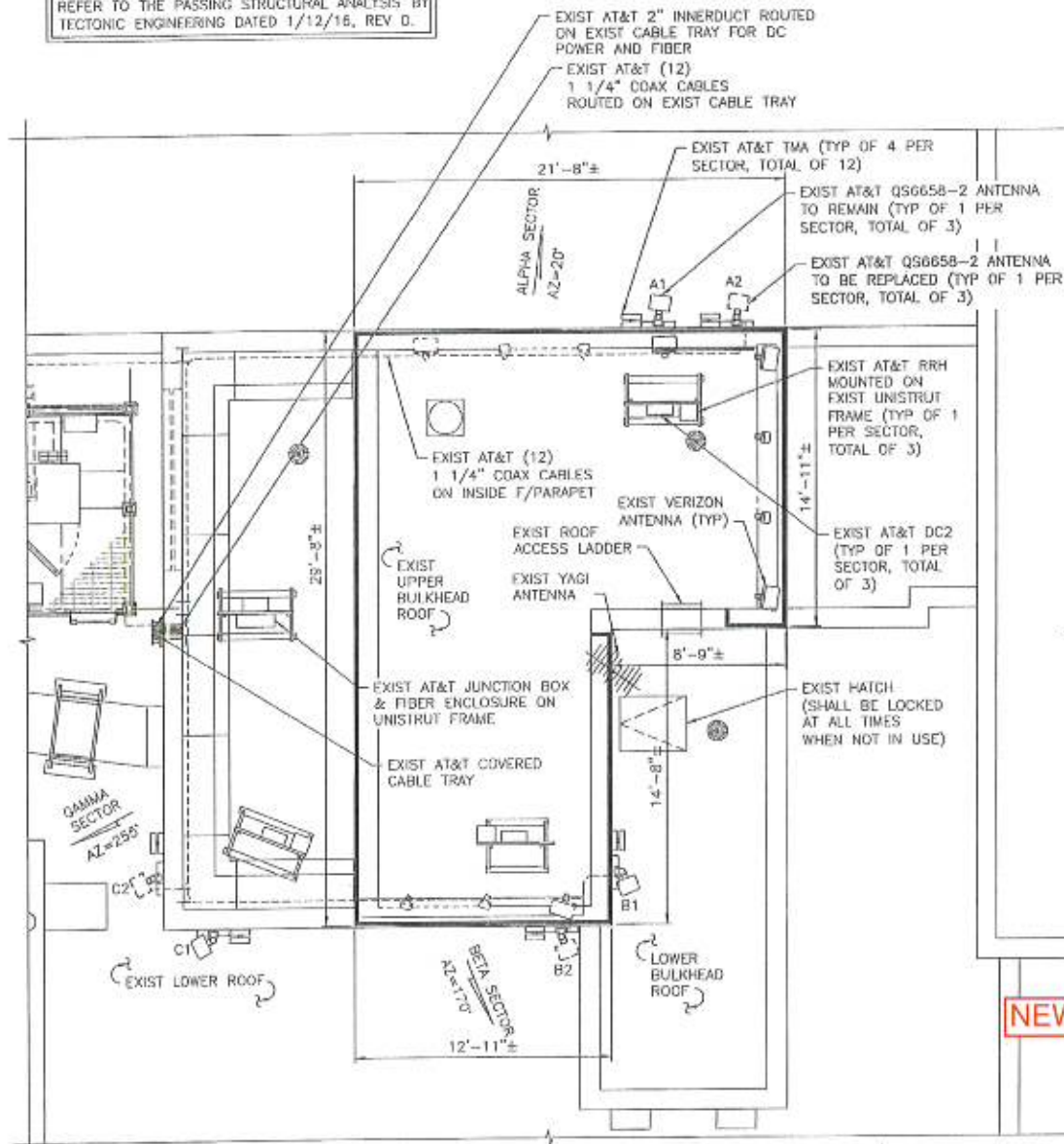


NORTH NOTE:
NORTH SHOWN HAS BEEN ESTABLISHED USING
THE USGS QUADRANGLE 7.5 MINUTE MAPS AND
IS APPROXIMATE. VERIFY TRUE NORTH PRIOR
TO INSTALLATION OF ANTENNAS.

LTE COLOR KEY



STRUCTURAL NOTE:
REFER TO THE PASSING STRUCTURAL ANALYSIS BY
TECTONIC ENGINEERING DATED 1/12/16, REV D.

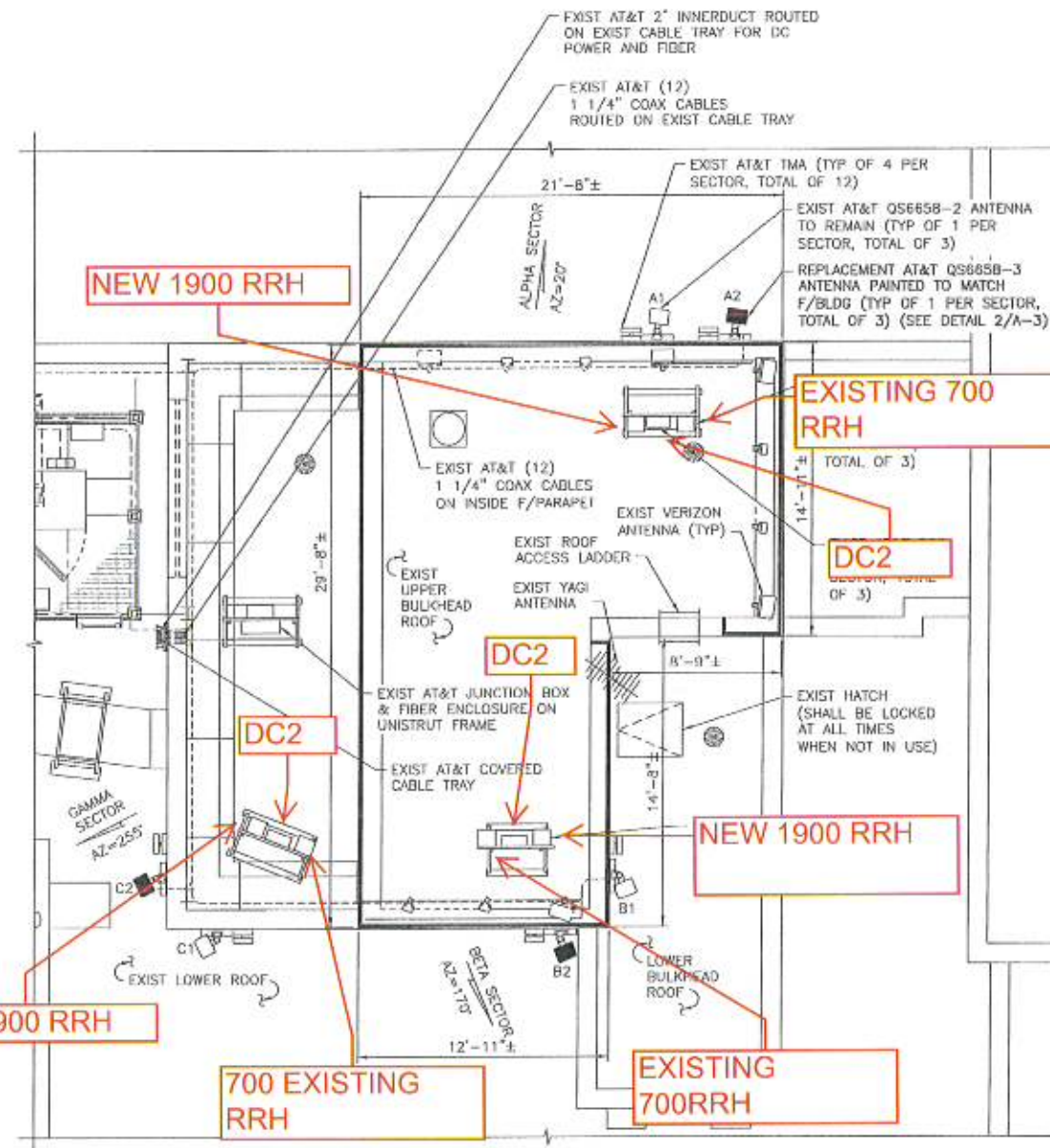


1
A-4
EXIST ANTENNA PLAN
SCALE: 1/4" = 1'-0"

ANTENNA AND TRANSMISSION CABLES REQUIREMENT

SECTOR	FINAL ANTENNA TYPE	EXIST TECHNOLOGY	FINAL TECHNOLOGY	ANTENNA AZIMUTH	STATUS	FINAL TMA/RRH	QTY	LENGTH	TRANSMISSION CABLE	
									TYPE	COLOR CODE
A1	QUINTEL QS6658-2	UMTS	UMTS	20°	EXIST	2/0	2	100'	1 1/4" COAX	G/G/O
A2	QUINTEL QS6658-3	LTE/GSM	LTE/GSM	20°	REPLACE	2/2	2	100'	FIBER, 1 1/4" COAX	G/G/P
B1	QUINTEL QS6658-2	UMTS	UMTS	170°	EXIST	2/0	2	100'	1 1/4" COAX	B/B/O
B2	QUINTEL QS6658-3	LTE/GSM	LTE/GSM	170°	REPLACE	2/2	2	100'	FIBER, 1 1/4" COAX	G/G/P
C1	QUINTEL QS6658-2	UMTS	UMTS	255°	EXIST	2/0	2	100'	1 1/4" COAX	W/W/O
C2	QUINTEL QS6658-3	LTE/GSM	LTE/GSM	255°	REPLACE	2/2	2	100'	FIBER, 1 1/4" COAX	O/G/P

NOTE:
1. FIBER LENGTHS PROVIDED ARE ESTIMATED BASED ON VISUAL INSPECTION FROM GROUND AND INFORMATION PROVIDED BY THE CLIENT.
2. REFER TO AT&T COLOR CODING GUIDELINES FOR COMPLETE CABLE STRIPING



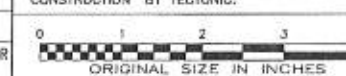
2
A-4
NEW ANTENNA PLAN
SCALE: 1/4" = 1'-0"

SCOPE

LTE 2C

REFER TO LATEST RF DATA SHEET FOR
FINAL RF DESIGN & BOM.

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DRAWINGS HAVE BEEN MARKED "ISSUED FOR
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NEW CINGULAR WIRELESS PCS, LLC
ONE AT&T WAY
REDMISTON, NJ 07871



BLACK & VEATCH

BLACK & VEATCH CORPORATION
650 FROM RD, SUITE 575,
PARAMUS, NJ 07652
UNDER CONTRACT WITH
OVERLAND CONTRACTING INC.

TECTONIC

• PLANNING
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• SURVEYING
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PROJECT NO: 8002.NYCWN4003
DRAWN BY: MP
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REV	DATE	DESCRIPTION
1	01/16/16	ISSUED FOR PERMIT



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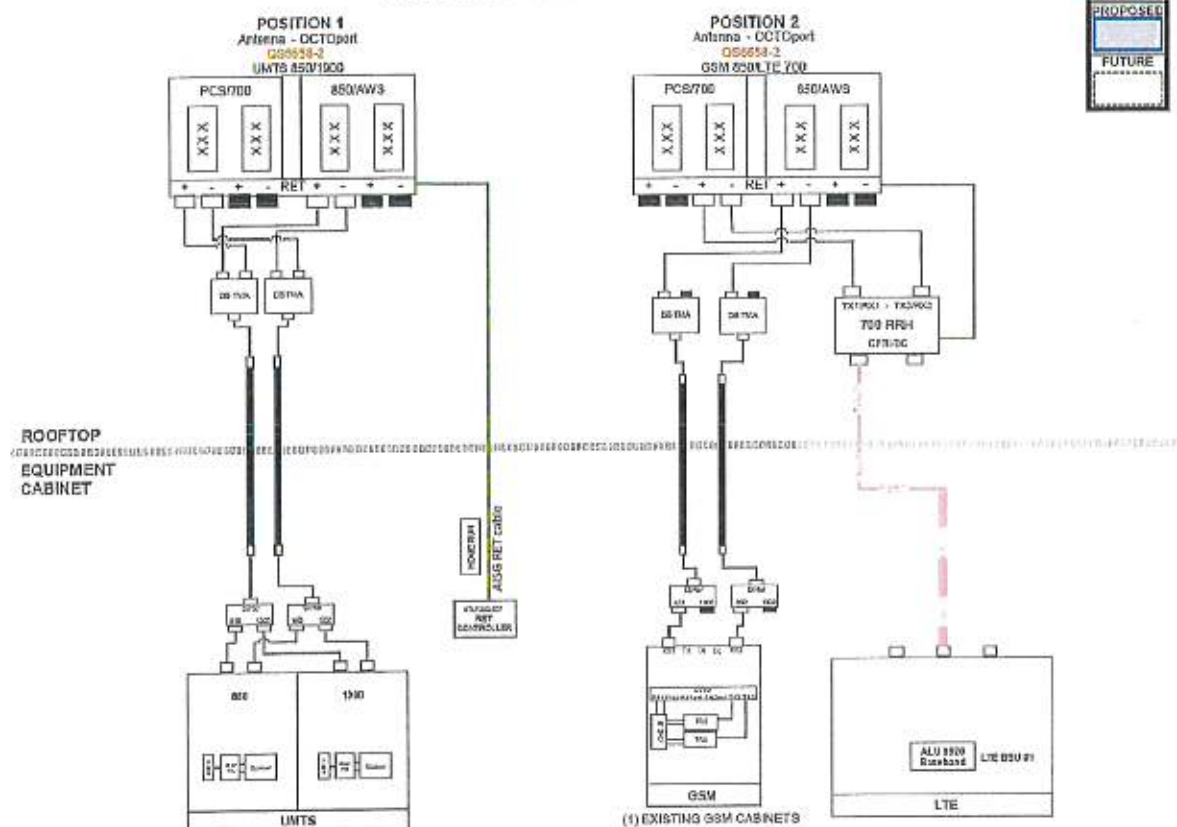
SITE NAME: WARWICK CENTRAL
SITE NO. NYCWN4003
ADDR: 15 MAPLE AVENUE
WARWICK, NY 10990

SHEET TITLE
ANTENNA PLANS
& SCHEDULE

SHEET NUMBER
A-4

NYCWN4003

ALL SECTORS
EXISTING CONFIGURATION

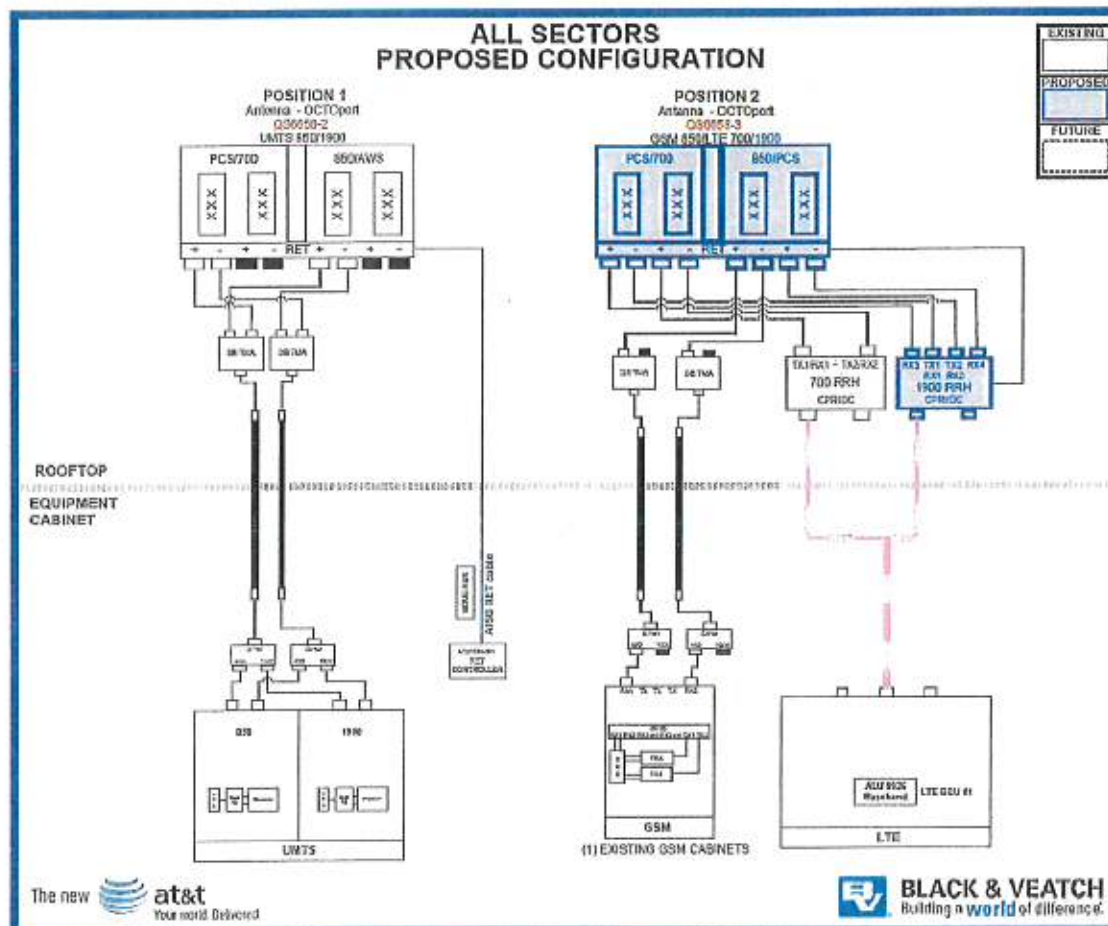


1
A-5

EXISTING PLUMBING DIAGRAM

SCALE: N.T.S.

ALL SECTORS
PROPOSED CONFIGURATION



2
A-5

PROPOSED PLUMBING DIAGRAM

SCALE: N.T.S.

SCOPE
LTE 2C
REFER TO LATEST RF DATA SHEET FOR FINAL RF DESIGN & BOV.

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0 1 2 3
ORIGINAL SIZE IN INCHES



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BLACK & VEATCH

BLACK & VEATCH CORPORATION
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PARAMUS, NJ 07652

UNDER CONTRACT WITH
OVERLAND CONTRACTING INC.

TECTONIC

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- ENGINEERING
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DRAWN BY: MP

CHECKED BY: (2)

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SITE NAME: WARWICK CENTRAL

SITE NO. NYCWNY4003

ADDR: 15 MAPLE AVENUE

WARWICK, NY 10990

SHEET TITLE

PLUMBING DIAGRAMS

SHEET NUMBER

A-5

GENERAL CONSTRUCTION NOTES

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE BUILDING CODE, LATEST VERSION AND ALL OTHER APPLICABLE CODES AND ORDINANCES.
2. EXISTING BUILDING INFORMATION WAS OBTAINED BASED ON A LIMITED SITE INSPECTION BY TECTONIC ENGINEERING.
3. OCCUPANCY IS LIMITED TO PERIODIC MAINTENANCE AND INSPECTION, APPROXIMATELY 2 TIMES PER MONTH, BY AT&T TECHNICIANS.
4. NO NOISE, SMOKE, DUST OR ODOR WILL RESULT FROM THIS PROPOSAL.
5. OUTDOOR STORAGE AND SOLID WASTE CONTAINERS ARE NOT PROPOSED.
6. ALL MATERIALS SHALL BE FURNISHED AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
7. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION.
8. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THE CONSTRUCTION OPERATION.
9. SUBCONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
10. INFORMATION SHOWN ON THESE DRAWINGS IS BASED ON A LIMITED SITE INSPECTION. SUBCONTRACTOR SHALL NOTIFY BLACK & VEATCH OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH CONSTRUCTION.

ANTENNA NOTES

1. DESIGN AND CONSTRUCTION OF ANTENNA SUPPORTS SHALL ALSO CONFORM TO ANSI/TIA-222-G-2005 "STRUCTURAL STANDARD FOR ANTENNA SUPPORTING STRUCTURES AND ANTENNAS".
2. ALL ANTENNA MOUNTS AND ASSOCIATED APPURTENANCES SHALL BE INSTALLED WITH DOUBLE NUTS AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. ALL CABLES SHALL BE GROUNDED WITH COAXIAL CABLE GROUNDING KITS. FOLLOW THE MANUFACTURER'S RECOMMENDATIONS.
 - A. GROUNDING AT THE ANTENNA LEVEL.
 - B. GROUNDING AT MID LEVEL, TOWERS WHICH ARE OVER 200'-0", ADDITIONAL CABLE GROUNDING REQUIRED.
 - C. GROUNDING AT BASE OF TOWER PRIOR TO TURNING HORIZONTAL.
 - D. GROUNDING OUTSIDE THE EQUIPMENT SHELTER AT ENTRY PORT.
 - E. GROUNDING INSIDE THE EQUIPMENT SHELTER AT THE ENTRY PORT.
4. ALL PROPOSED GROUNDING BAR DOWNLEADS ARE TO BE TERMINATED TO THE EXISTING ADJACENT GROUNDING BAR DOWNLEADS A MINIMUM DISTANCE OF 4'-0" BELOW GROUNDING BAR. TERMINATIONS MAY BE EXOTHERMIC OR COMPRESSION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ANTENNA AND THE COAX CONFIGURATION IS THE CORRECT MAKE AND MODEL, PRIOR TO INSTALLATION.
6. ALL CONNECTIONS FOR HANGERS, SUPPORTS, BRACING, ETC. SHALL BE INSTALLED PER TOWER MANUFACTURER'S SPECIFICATION & RECOMMENDATIONS.
7. CONTRACTOR SHALL REFERENCE THE TOWER STRUCTURAL ANALYSIS/DESIGN DRAWINGS FOR DIRECTIONS ON CABLE DISTRIBUTION/ROUTING.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ANTENNA, TMAS, DIPLEXERS, AND COAX CONFIGURATION, MAKE AND MODEL PRIOR TO INSTALLATION.
9. ALL CONNECTIONS FOR HANGERS, SUPPORTS, BRACING, ETC. SHALL BE INSTALLED PER TOWER MANUFACTURER'S RECOMMENDATIONS.
10. CONTRACTOR SHALL REFERENCE THE TOWER STRUCTURAL ANALYSIS/DESIGN DRAWINGS FOR DIRECTIONS ON CABLE DISTRIBUTION/ROUTING.
11. ALL OUTDOOR RF CONNECTORS/CONNECTIONS SHALL BE WEATHERPROOFED, EXCEPT THE RET CONNECTORS, USING BUTYL TAPE AFTER INSTALLATION AND FINAL CONNECTIONS ARE MADE. BUTYL TAPE SHALL HAVE A MINIMUM OF ONE-HALF TAPE WIDTH OVERLAP ON EACH TURN AND EACH LAYER SHALL BE WRAPPED THREE TIMES. WEATHERPROOFING SHALL BE SMOOTH WITHOUT BUCKLING. BUTYL BLEEDING IS NOT ALLOWED.
12. IF REQUIRED TO PAINT ANTENNAS AND/OR COAX:
 - A. TEMPERATURE SHALL BE ABOVE 50° F.
 - B. PAINT COLOR MUST BE APPROVED BY BUILDING OWNER/LANDLORD.
 - C. FOR REGULATED TOWERS, FAA/FCC APPROVED PAINT IS REQUIRED.
 - D. DO NOT PAINT OVER COLOR CODING OR ON EQUIPMENT MODEL NUMBERS.

STRUCTURAL STEEL NOTES

1. DESIGN AND CONSTRUCTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS, ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN".
2. STRUCTURAL STEEL WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992, "STEEL FOR STRUCTURAL SHAPES FOR USE IN BUILDING FRAMING", GRADE 50, UNLESS OTHERWISE INDICATED. IF THE MEMBER SIZES INDICATED ARE NOT AVAILABLE IN THIS GRADE, ASTM A572 "HIGH-STRENGTH LOW-ALLOY COLUMBIUM-VANADIUM STRUCTURAL STEEL", GRADE 50, MAY BE SUBSTITUTED.
3. HOLLOW STRUCTURAL SECTIONS (HSS) SHALL CONFORM TO ASTM A500 "COLD-FORMED WELDED & SEAMLESS CARBON STEEL STRUCTURAL TUBING IN ROUNDS AND SHAPES", GRADE B.
4. MISCELLANEOUS STEEL, INCLUDING CHANNELS, ANGLES, PLATES, AND BARS SHALL CONFORM TO ASTM A36 "CARBON STRUCTURAL STEEL", UNLESS OTHERWISE INDICATED.
5. ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 "ANCHOR BOLTS, STEEL 36, 55, AND 105-KSI YIELD STRENGTH", GRADE 36.
6. STRUCTURAL CONNECTION BOLTS SHALL BE HIGH STRENGTH BOLTS CONFORMING TO ASTM A325 "STRUCTURAL BOLTS, STEEL, HEAT TREATED, 120/105 KSI MINIMUM TENSILE STRENGTH". BOLTS SHALL BE 3/4" INCH DIAMETER, TYPE X, UNLESS OTHERWISE NOTED.
7. MATCHING NUTS SHALL BE HEAVY HEX TYPE, CONFORMING TO ASTM A563 "CARBON AND ALLOY STEEL NUTS", WASHERS, WHERE REQUIRED, SHALL CONFORM TO ASTM F436 "HARDENED STEEL WASHERS".
8. FIELD CONNECTIONS SHALL BE BOLTED UNLESS OTHERWISE INDICATED. ALL BOLTED CONNECTIONS SHALL BE MADE WITH NOT LESS THAN TWO (2) HIGH STRENGTH BOLTS, OR EQUIVALENT WELD.
9. STRUCTURAL CONNECTIONS SHALL BE SNUG TIGHT IN ACCORDANCE WITH THE RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS", UNLESS OTHERWISE NOTED.
10. BOLTS IN SLIP-CRITICAL CONNECTIONS SHALL BE FULLY PRETENSIONED BY THE TURN-OF-NUT METHOD IN ACCORDANCE WITH THE RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS "SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS".
11. ANCHOR BOLTS SHALL BE TENSIONED BY THE TURN-OF-NUT METHOD AFTER GROUTING OF BASE PLATES.
12. CONTRACTOR SHALL COMPLY WITH AWS D1.1 "STRUCTURAL WELDING CODE - STEEL" FOR PROCEDURES, APPEARANCE AND QUALITY OF WELDS, AND FOR METHODS USED IN CORRECTING WELDING. ALL WELDERS AND WELDING PROCESSES SHALL BE QUALIFIED IN ACCORDANCE WITH AWS "STANDARD QUALIFICATION PROCEDURES". AS STEEL BAR.
13. STEEL GRATING SHALL BE TYPE "W/B" GALVANIZED WELDED MANUFACTURED BY IKG BORDEN, OR APPROVED EQUAL. BEARING BARS SHALL BE AS FOLLOWS:

GRATING	1" x 3/16"	SERRATED
---------	------------	----------
14. BAND ALL EDGES, AND ATTACH TO SUPPORTING MEMBERS AT 18" ON CENTER WITH MODEL GC GALVANIZED G-C LIPS AS MANUFACTURED BY GRATING FASTENERS INC.
15. EXPANSION ANCHORS SHALL BE HILTI KWIK BOLT III OR APPROVED EQUAL. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MINIMUM EMBEDMENT SHALL BE 4-3/4" UNLESS OTHERWISE NOTED.
16. EPOXY ANCHOR ASSEMBLIES SHALL BE AS MANUFACTURED BY HILTI OR ENGINEER APPROVED EQUAL. AS FOLLOWS:

ANCHOR SYSTEM	
BASE MATERIAL	HIT HY-200
CONCRETE OR GROUTED CMU	HIT HY-200
HOLLOW CMU	HIT HY-70
17. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
18. ALL INTERIOR STRUCTURAL STEEL SHALL BE SHOP PRIME COATED WITH A RUST-INHIBITIVE PRIMER EXCEPT AREAS TO BE FIREPROOFED NEED NOT BE PAINTED. SURFACE PREPARATION SHALL BE IN ACCORDANCE WITH THE PAINT MANUFACTURER'S RECOMMENDATIONS. AREAS WHICH MAY BE INACCESSIBLE AFTER INSTALLATION SHALL RECEIVE TWO (2) COATS OF PRIMER. SEE ARCHITECTURAL DRAWINGS FOR FINISH PAINT.
19. FIELD CONNECTIONS AND DAMAGED OR ABRASED AREAS OF SHOP PRIME COAT SHALL BE TOUCH-UP PAINTED WITH COMPATIBLE FIELD PRIMER.
20. ALL EXTERIOR STEEL SHALL BE GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A123 "ZINC (HOT-DIP GALVANIZED) COATINGS ON IRON AND STEEL PRODUCTS", UNLESS OTHERWISE NOTED. ALL EXTERIOR BOLTS AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 "ZINC COATING (HOT-DIP) ON IRON AND STEEL HARDWARE", UNLESS OTHERWISE NOTED.
21. DAMAGED GALVANIZED SURFACES SHALL BE REPAIRED BY COLD GALVANIZING IN ACCORDANCE WITH ASTM A780 "REPAIR OF DAMAGED AND UNCOATED AREAS OF HOT-DIP GALVANIZED COATINGS".
22. ALL STEEL WORK SHALL BE SUBJECT TO SPECIAL INSPECTIONS DURING CONSTRUCTION.
23. THE NOTES CONTAINED HEREIN ARE NOT PROJECT SPECIFIC. THE CONTRACTOR SHALL UTILIZE ALL NOTES WHICH SOLELY PERTAIN TO THE WORK DEPICTED ON THESE DRAWINGS.

FIBER & POWER CABLE MOUNTING NOTES

1. THE FIBER OPTIC TRUNK CABLES SHALL BE INSTALLED INTO CONDUITS, CHANNEL CABLE TRAYS, OR CABLE TRAY, WHEN INSTALLING FIBER OPTIC TRUNK CABLES INTO A CABLE TRAY SYSTEM, THEY SHALL BE INSTALLED INTO AN INTER DUCT AND A PARTITION BARRIER SHALL BE INSTALLED BETWEEN THE 600 VOLT CABLES AND THE INTER DUCT IN ORDER TO SEGREGATE CABLE TYPES. OPTIC FIBER TRUNK CABLES SHALL HAVE APPROVED CABLE RESTRAINTS EVERY (60) SIXTY FEET AND SECURELY FASTENED TO THE CABLE TRAY SYSTEM. NFPA 70 (NEC) ARTICLE 770 RULES SHALL APPLY.
2. THE TYPE TC-ER CABLES SHALL BE INSTALLED INTO CONDUITS, CHANNEL CABLE TRAYS, OR CABLE TRAY AND SHALL BE SECURED AT INTERVALS NOT EXCEEDING (6) SIX FEET, AN EXCEPTION; WHERE TYPE TC-ER CABLES ARE NOT SUBJECT TO PHYSICAL DAMAGE, CABLES SHALL BE PERMITTED TO MAKE A TRANSITION BETWEEN CONDUITS, CHANNEL CABLE TRAYS, OR CABLE TRAY WHICH ARE SERVING UTILIZATION EQUIPMENT OR DEVICES, A DISTANCE (6) SIX FEET SHALL NOT BE EXCEEDED WITHOUT CONTINUOUS SUPPORTING. NFPA 70 (NEC) ARTICLES 338 AND 392 RULES SHALL APPLY.
3. WHEN INSTALLING OPTIC FIBER TRUNK CABLES OR TYPE TC-ER CABLES INTO CONDUITS, NFPA 70 (NEC) ARTICLE 300 RULES SHALL APPLY.

ANTENNA MOUNTING NOTES

1. DESIGN AND CONSTRUCTION OF ANTENNA SUPPORTS SHALL CONFORM TO CURRENT ANSI/TIA-222 OR APPLICABLE LOCAL CODES.
2. ALL STEEL MATERIALS SHALL BE GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A123 "ZINC (HOT-DIP GALVANIZED) COATINGS ON IRON AND STEEL PRODUCTS", UNLESS NOTED OTHERWISE.
3. ALL BOLTS, ANCHORS AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 "ZINC-COATING (HOT-DIP) ON IRON AND STEEL HARDWARE", UNLESS NOTED OTHERWISE.
4. DAMAGED GALVANIZED SURFACES SHALL BE REPAIRED BY COLD GALVANIZING IN ACCORDANCE WITH ASTM A780.
5. ALL ANTENNA MOUNTS SHALL BE INSTALLED WITH LOCK NUTS, DOUBLE NUTS AND SHALL BE TORQUED TO MANUFACTURER'S RECOMMENDATIONS.
6. CONTRACTOR SHALL INSTALL ANTENNA PER MANUFACTURER'S RECOMMENDATION FOR INSTALLATION AND GROUNDING.
7. ALL UNUSED PORTS ON ANY ANTENNAS SHALL BE TERMINATED WITH A 50-OHM LOAD TO ENSURE ANTENNAS PERFORM AS DESIGNED.
8. PRIOR TO SETTING ANTENNA AZIMUTHS AND DOWNTILTS, ANTENNA CONTRACTOR SHALL CHECK THE ANTENNA MOUNT FOR TIGHTNESS AND ENSURE THAT THEY ARE PLUMB. ANTENNA AZIMUTHS SHALL BE SET FROM TRUE NORTH AND BE ORIENTED WITHIN +/- 5% AS DEFINED BY THE RFDS. ANTENNA DOWNTILTS SHALL BE WITHIN +/- 0.5% AS DEFINED BY THE RFDS. REFER TO ND-00248.
9. JUMPERS FROM THE TMA'S MUST TERMINATE TO OPPOSITE POLARIZATION'S IN EACH SECTOR.
10. CONTRACTOR SHALL RECORD THE SERIAL #, SECTOR, AND POSITION OF EACH ACTUATOR INSTALLED AT THE ANTENNAS AND PROVIDE THE INFORMATION TO AT&T.
11. TMA'S SHALL BE MOUNTED ON PIPE DIRECTLY BEHIND ANTENNAS AS CLOSE TO ANTENNA AS FEASIBLE IN A VERTICAL POSITION.
12. ANTENNAS SHALL HAVE A 6'-0" MIN CENTER TO CENTER HORIZONTAL SEPARATION BETWEEN SIMILAR TECHNOLOGIES (U.N.O.).

TORQUE REQUIREMENTS

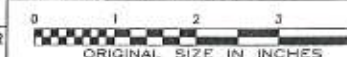
1. ALL RF CONNECTIONS SHALL BE TIGHTENED BY A TORQUE WRENCH.
2. ALL RF CONNECTIONS, GROUNDING HARDWARE AND ANTENNA HARDWARE SHALL HAVE A TORQUE MARK INSTALLED IN A CONTINUOUS STRAIGHT LINE FROM BOTH SIDES OF THE CONNECTION.
 - A. RF CONNECTION BOTH SIDES OF THE CONNECTOR.
 - B. GROUNDING AND ANTENNA HARDWARE ON THE NUT SIDE STARTING FROM THE THREADS TO THE SOLID SURFACE. EXAMPLE OF SOLID SURFACE: GROUND BAR, ANTENNA BRACKET METAL.
3. ALL 8M ANTENNA HARDWARE SHALL BE TIGHTENED TO 9 LB-FT (12 NM).
4. ALL 12M ANTENNA HARDWARE SHALL BE TIGHTENED TO 43 LB-FT (58 NM).
5. ALL GROUNDING HARDWARE SHALL BE TIGHTENED UNTIL THE LOCK WASHER COLLAPSES AND THE GROUNDING HARDWARE IS NO LONGER LOOSE.
6. ALL DIN TYPE CONNECTIONS SHALL BE TIGHTENED TO 18-22 LB-FT (24.4 - 29.8 NM).
7. ALL N TYPE CONNECTIONS SHALL BE TIGHTENED TO 15-20 LB-IN (1.7 - 2.3 NM).

SCOPE

LTE 2C

REFER TO LATEST RF DATA SHEET FOR FINAL RF DESIGN & BOM.

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REV	DATE	DESCRIPTION

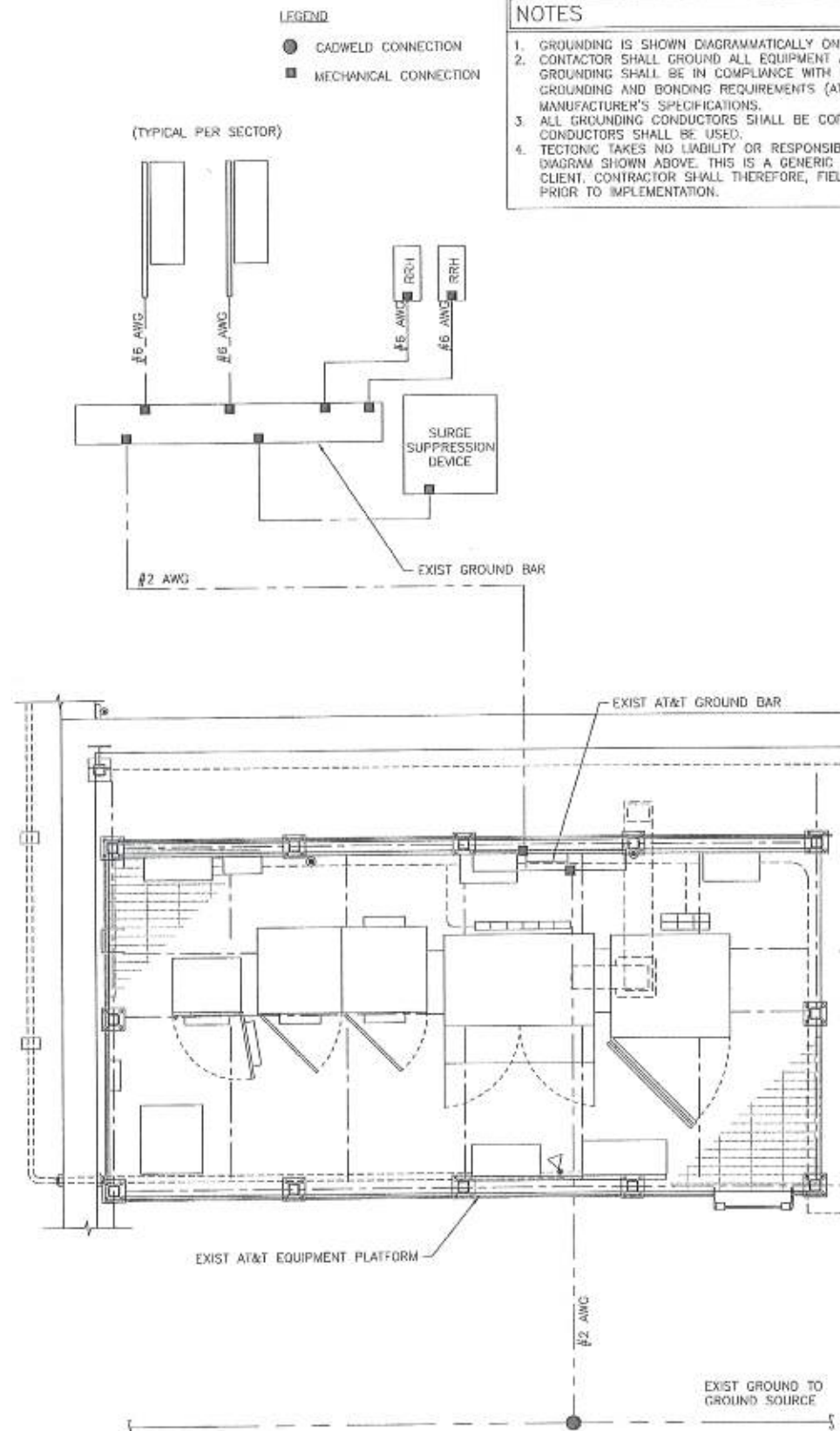


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SITE NAME: WARWICK CENTRAL
SITE NO. NYCWN4003
ADDR: 15 MAPLE AVENUE
WARWICK, NY 10990

SHEET TITLE
NOTES

SHEET NUMBER
A-6



1 GROUNDING PLAN
G-1 SCALE: NTS

NOTES

- GROUNDING IS SHOWN DIAGRAMMATICALLY ONLY.
- CONTRACTOR SHALL GROUND ALL EQUIPMENT AS A COMPLETE SYSTEM. GROUNDING SHALL BE IN COMPLIANCE WITH NEC SECTION 250 AND AT&T GROUNDING AND BONDING REQUIREMENTS (ATT-TP-76416) AND MANUFACTURER'S SPECIFICATIONS.
- ALL GROUNDING CONDUCTORS SHALL BE COPPER; NO ALUMINUM CONDUCTORS SHALL BE USED.
- TECTONIC TAKES NO LIABILITY OR RESPONSIBILITY FOR THE ONE-LINE DIAGRAM SHOWN ABOVE. THIS IS A GENERIC DIAGRAM PROVIDED BY THE CLIENT. CONTRACTOR SHALL THEREFORE, FIELD VERIFY EXISTING CONDITIONS PRIOR TO IMPLEMENTATION.

GROUNDING KEY NOTES

- EXTERIOR GROUND RING: #2 AWG SOLID COPPER, BURIED AT A DEPTH OF AT LEAST 30 INCHES BELOW GRADE, OR 6 INCHES BELOW THE FROST LINE AND APPROXIMATELY 24 INCHES FROM THE EXTERIOR WALL OR FOOTING. (ATT-TP-76416 2.2.3.5/7.5.1)
- TOWER GROUND RING: THE GROUND RING SYSTEM SHALL BE INSTALLED AROUND AN ANTENNA TOWER'S LEGS, AND/OR GUY ANCHORS. WHERE SEPARATE SYSTEMS HAVE BEEN PROVIDED FOR THE TOWER AND THE BUILDING, AT LEAST TWO BONDS SHALL BE MADE BETWEEN THE TOWER RING GROUND SYSTEM AND THE BUILDING RING GROUND SYSTEM USING MINIMUM #2 AWG SOLID COPPER CONDUCTORS. (ATT-TP-76416 7.5.1)
- INTERIOR GROUND RING: #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTOR EXTENDED AROUND THE PERIMETER OF THE EQUIPMENT AREA. ALL NON-TELECOMMUNICATIONS RELATED METALLIC OBJECTS FOUND WITHIN A SITE SHALL BE GROUNDED TO THE INTERIOR GROUND RING WITH #6 AWG STRANDED GREEN INSULATED CONDUCTOR. (ATT-TP-76416 7.5.4)
- BOND TO INTERIOR GROUND RING: #2 AWG SOLID TINNED COPPER WIRE PRIMARY BONDS SHALL BE PROVIDED AT LEAST AT FOUR POINTS ON THE INTERIOR GROUND RING, LOCATED AT THE CORNERS OF THE BUILDING. (ATT-TP-76416 7.5.2.2)
- GROUND ROD: UL LISTED COPPER CLAD STEEL, MINIMUM 5/8" DIAMETER BY EIGHT FEET LONG. ALL GROUND RODS SHALL BE INSTALLED WITH INSPECTION SLEEVES. GROUND RODS SHALL BE DRIVEN TO THE DEPTH OF GROUND RING CONDUCTOR. (ATT-TP-76416 1.4 / 7.5.1)
- CELL REFERENCE GROUND BAR: POINT OF GROUND REFERENCE FOR ALL COMMUNICATIONS EQUIPMENT FRAMES. ALL BONDS ARE MADE WITH #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTORS. BOND TO GROUND RING WITH (2) #2 SOLID TINNED COPPER CONDUCTORS. (ATT-76416 7.8.5)
- HATCH PLATE GROUND BAR: BOND TO THE INTERIOR GROUND RING WITH TWO #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTORS. WHEN A HATCH-PLATE AND A CELL REFERENCE GROUND BAR ARE BOTH PRESENT, THE CRGB MUST BE CONNECTED TO THE HATCH-PLATE AND TO THE INTERIOR GROUND RING USING TWO #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTORS.
- EXTERIOR CABLE ENTRY PORT GROUND BARS: LOCATED AT THE ENTRANCE TO THE CELL SITE BUILDING. BOND TO GROUND RING WITH A #2 AWG SOLID TINNED COPPER CONDUCTORS WITH AND EXOTHERMIC WELD AND INSPECTION SLEEVE. (ATT-TP-76416 7.6.7.2)
- TOWER EXIT GROUND BAR: #2 AWG SOLID TINNED COPPER BOND TO THE TOWER GROUND RING. (ATT-TP-76416 7.5.5)
- TELCO GROUND BAR: BOND TO BOTH CELL REFERENCE GROUND BAR AND EXTERIOR GROUND RING. (ATT-TP-76416 7.6.8)
- FRAME BONDING: THE BONDING POINT FOR TELECOM EQUIPMENT FRAMES SHALL BE THE GROUND BUS THAT IS NOT ISOLATED FROM THE EQUIPMENT'S METAL FRAMEWORK. BOND THE FRAME GROUND BUS TO THE "I" SECTION OF THE CELL REFERENCE GROUND BAR. (ATT-TP-76416 7.8)
- INTERIOR UNIT BONDS: METAL FRAMES, CABINETS AND INDIVIDUAL METALLIC UNITS LOCATED WITH THE AREA OF THE INTERIOR GROUND RING REQUIRE A #6 AWG STRANDED GREEN INSULATED COPPER BOND TO THE INTERIOR GROUND RING. (ATT-TP-76416 7.12.3.1)
- FENCE AND GATE GROUND: METAL FENCES WITHIN 7 FEET OF THE EXTERIOR GROUND RING OR OBJECTS BONDED TO THE EXTERIOR GROUND RING SHALL BE BONDED TO THE GROUND RING WITH A #2 AWG SOLID TINNED COPPER CONDUCTOR AT AN INTERVAL NOT EXCEEDING 25 FEET. BONDS SHALL BE MADE AT EACH GATE POST AND ACROSS GATE OPENINGS. (ATT-TP-76416 7.12.2.2)
- EXTERIOR UNIT BONDS: METALLIC OBJECTS, EXTERNAL TO OR MOUNTED TO THE BUILDING, SHALL BE BONDED TO THE EXTERIOR GROUND RING. (ATT-TP-76416 7.4.2.6)
- ICE BRIDGE SUPPORTS: EACH ICE BRIDGE LEG SHALL BE BONDED TO THE GROUND RING WITH #2 AWG BARE TINNED COPPER CONDUCTOR. PROVIDE EXOTHERMIC WELDS AT BOTH THE ICE BRIDGE LEG AND BURIED GROUND RING. (ATT-TP-76416 7.4.2.6)

GROUNDING NOTES

- THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY ALL APPLICABLE CODES.
- ALL GROUNDING WORK SHALL BE IN ACCORDANCE WITH AT&T.
- ALL BUS CONNECTORS SHALL BE TWO-HOLE, LONG-BARREL TYPE COMPRESSION LUGS, T&B OR EQUAL, UNLESS OTHERWISE NOTED ON DRAWINGS. ALL LUGS SHALL BE ATTACHED TO BUSSES USING BOLTS, NUTS, AND LOCK WASHERS. NO WASHERS ARE ALLOWED BETWEEN THE ITEMS BEING GROUNDED.
- ALL CONNECTORS SHALL BE CRIMPED USING HYDRAULIC CRIMPING TOOLS, T&B #7BM 8 OR EQUIVALENT.
- ALL CONNECTIONS SHALL BE MADE TO BARE METAL. ALL PAINTED SURFACES SHALL BE FILED TO ENSURE PROPER CONTACT. NO WASHERS ARE ALLOWED BETWEEN THE ITEMS BEING GROUNDED. ALL CONNECTIONS ARE TO HAVE A NON-OXIDIZING AGENT APPLIED PRIOR TO INSTALLATION.
- ALL COPPER BUSSES SHALL BE CLEANED, POLISHED, AND A NON-OXIDIZING AGENT APPLIED. NO FINGERPRINTS OR DISCOLORED COPPER WILL BE PERMITTED.
- ALL BONDS SHALL BE AS SHALLOW AS POSSIBLE, WITH NO TURN SHORTER THAN AN 8-INCH NOMINAL RADIUS.
- GROUNDING CONDUCTORS SHALL BE SOLID TINNED COPPER AND ANNEALED #2. ALL GROUNDING CONDUCTORS SHALL RUN THROUGH PVC SLEEVES WHEREVER CONDUCTORS RUN THROUGH WALLS, FLOORS, OR CEILINGS. IF CONDUCTORS MUST RUN THROUGH EMT, BOTH ENDS OF CONDUIT SHALL BE GROUNDED. SEAL BOTH ENDS OF CONDUIT WITH SILICONE CAULK.
- GROUNDING SYSTEM RESISTANCE SHALL NOT EXCEED 10 OHMS. IF THE RESISTANCE VALUE IS EXCEEDED, NOTIFY THE PROJECT MANAGER FOR FURTHER INSTRUCTION ON METHODS FOR REDUCING THE RESISTANCE VALUE.
- ALL ROOF TOP ANTENNA MOUNTS SHALL BE GROUNDED WITH A #2 GROUND WIRE CONNECTED TO THE NEAREST GROUND BUS. ALL CONNECTIONS ARE TO BE CAD-WELDED IF POSSIBLE.
- UPON COMPLETION OF WORK, CONDUCT CONTINUITY, SHORT CIRCUIT, AND FALL OF POTENTIAL GROUNDING TESTS FOR APPROVAL. SUBMIT TEST REPORTS TO THE PROJECT MANAGER.
- GROUNDING CONNECTION TO TRAVEL IN A DOWNWARD DIRECTION.
- ALL EXPOSED #2 WIRE MUST BE TINNED NOT BTW.
- EXOTHERMIC WELD (2) TWO, #2 AWG BARE TINNED SOLID COPPER CONDUCTORS TO GROUNDING BAR, ROUTE CONDUCTORS TO BURIED GROUNDING RING AND PROVIDE PARALLEL EXOTHERMIC WELD.
- ALL GROUNDING BARS SHALL BE STAMPED IN TO THE METAL "IF STOLEN DO NOT RECYCLE." THE CONTRACTOR SHALL USE PERMANENT MARKER TO DRAW THE LINES BETWEEN EACH SECTION AND LABEL EACH SECTION ("P", "A", "N", "I") WITH 1" HIGH LETTERS.
- ALL HARDWARE SHALL BE STAINLESS STEEL 3/8" DIAMETER OR LARGER. ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING LOCK WASHERS, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
- FOR GROUND BOND TO STEEL ONLY: INSERT A CADMIUM FLAT WASHER BETWEEN LUG AND STEEL, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
- DO NOT INSTALL CABLE GROUNDING KIT AT A BEND AND ALWAYS DIRECT GROUNDING CONDUCTOR DOWN TO GROUNDING BUS.
- NUT & WASHER SHALL BE PLACED ON THE FRONT SIDE OF THE GROUNDING BAR AND BOLTED ON THE BACK SIDE. INSTALL BLACK HEAT-SHRINKING TUBE, 600 VOLT INSULATION, ON ALL GROUNDING TERMINATIONS. THE INTENT IS TO WEATHERPROOF THE COMPRESSION CONNECTION.
- SUPPLIED AND INSTALLED BY CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ADDITIONAL GROUNDING BAR AS REQUIRED, PROVIDING 50% SPARE CONNECTION POINTS.
- ENSURE THE WIRE INSULATION TERMINATION IS WITHIN 1/8" OF THE BARREL (NO SHINERS).

SCOPE

LTE 2C

REFER TO LATEST RF DATA SHEET FOR FINAL RF DESIGN & BOM.

THIS SET OF DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL THE DRAWINGS HAVE BEEN MARKED "ISSUED FOR CONSTRUCTION" BY TECTONIC.

0 1 2 3 4
ORIGINAL SIZE IN INCHES



NEW CINGULAR WIRELESS PCS, LLC
ONE AT&T WAY
BEDMINSTER, NJ 07921



BLACK & VEATCH

BLACK & VEATCH CORPORATION
650 FROM RD, SUITE 575,
PARAMUS, NJ 07652

UNDER CONTRACT WITH
OVERLAND CONTRACTING INC.

TECTONIC

• PLANNING
• ENGINEERING
• SURVEYING
• CONSTRUCTION MANAGEMENT

TECTONIC Engineering & Surveying Consultants P.C.
1278 ROUTE 309
Newburgh, NY 12550
Phone: (845) 557-5555
Fax: (845) 557-8703
www.tectonicengineering.com

PROJECT NO: 8002.NYCWN4003

DRAWN BY: MP

CHECKED BY: GL

REV	DATE	DESCRIPTION
1	01/26/10	ISSUED FOR PERMIT



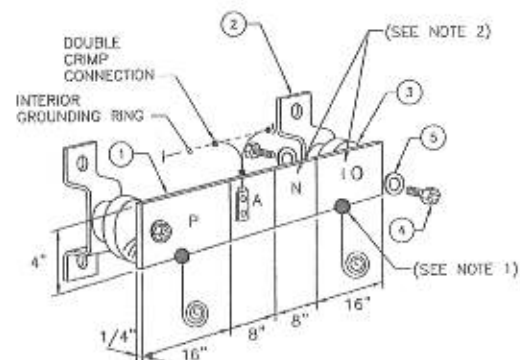
COPIES OF THIS DOCUMENT WITHOUT AN ORIGINAL SIGNATURE AND AN ORIGINAL EMBOSSED SEAL OF THE PROFESSIONAL ENGINEER OR LAND SURVEYOR SHALL NOT BE CONSIDERED VALID COPIES.

SITE NAME: WARWICK CENTRAL
SITE NO. NYCWN4003
ADDR: 15 MAPLE AVENUE
WARWICK, NY 10990

SHEET TITLE
GROUNDING PLAN & NOTES

SHEET NUMBER
G-1

NEWTON INSTRUMENT COMPANY, INC. BUTNER, N.C.			
NO	REQUIRED	PART NUMBER	DESCRIPTION
1	1	1/4"x4"x48"	SOLID GROUNDING BAR
2	2	A-6056	WALL MOUNTING BRACKET
3	2	3061-4	INSULATORS
4	4	.5012-1	5/8"-11x1" H.H.C.S.
5	4	3015-8	5/8" LOCKWASHER



1 (MGB) REFERENCE GROUNDING BAR
G-2 SCALE: NTS

EACH GROUNDING CONDUCTOR TERMINATING ON ANY GROUNDING BAR SHALL HAVE AN IDENTIFICATION TAG ATTACHED AT EACH END THAT WILL IDENTIFY ITS ORIGIN AND DESTINATION

SECTION "D" - SURGE PROTECTORS

- (EC) CELL REFERENCE GROUNDING BAR (IF COLLOCATED)
- (EC) GENERATOR FRAMEWORK (IF AVAILABLE) (#2 AWG)
- (EC) TELCO GROUNDING BAR (#2 AWG)
- (EC) COMMERCIAL POWER COMMON NEUTRAL/GROUNDING BOND (3/0)
- (EC) FIBER GROUNDING BAR (#2 AWG)
- (EC) POWER ROOM REFERENCE GROUNDING BAR (#2 AWG)
- (AT&T) RECTIFIER FRAMES

SECTION "A" - SURGE ABSORBERS

- (EC) INTERIOR GROUNDING RING (#2 AWG)
- (EC) EXTERNAL EARTH GROUNDING FIELD (BURIED GROUNDING RING) (#2 AWG)
- (EC) METALLIC COLD WATER PIPE (IF AVAILABLE) (1/0 AWG)
- (EC) BUILDING STEEL (IF AVAILABLE) (1/0 AWG)

SECTION "N" - NON-ISOLATED GROUNDING ZONE EQUIPMENT

- (EC) MISC. NON-ISOLATED GROUNDING ZONE EQUIPMENT (AT&T)-48V POWER SUPPLY RETURN BARE

SECTION "I" - ISOLATED GROUNDING ZONE

- (AT&T) ALL ISOLATED GROUNDING REFERENCE
- (AT&T) GROUNDING WINDOW BAR

GENERIC DETAILS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO IMPLEMENTATION. CONTACT CONSTRUCTION MANAGER AND/OR DESIGN ENGINEER FOR APPROVAL.

ELECTRICAL NOTES

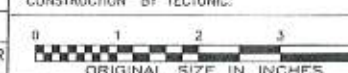
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COORDINATING ALL REQUIRED LOCAL BUILDING DEPARTMENT INSPECTIONS AND APPROVALS. ALL ELECTRICAL WORK IS TO BE PERFORMED BY AN INDIVIDUAL LICENSED IN THE JURISDICTION OF THE PROPOSED WORK.
- THE ENTIRE SYSTEM SHALL CONFORM TO ALL STATE AND LOCAL BUILDING CODES AND THE LATEST ADOPTED ADDITION OF THE NATIONAL ELECTRIC CODE.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS INDICATED ON THESE DRAWINGS.
- ALL EXTERIOR DEVICES SHALL BE RATED FOR EXTERIOR USE "3R".
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CLEARING AND EXCAVATING FOR NEW UTILITY POLES OR UNDERGROUND UTILITY RUNS. COORDINATE WITH THE LOCAL UTILITY COMPANIES TO DETERMINE WHAT DEVICES ARE SUPPLIED AND INSTALLED AS THE SECONDARY ELECTRIC AND TELEPHONE SERVICE VERSUS UTILITY COMPANIES RESPONSIBILITIES.
- ALL MATERIALS AND DEVICES INSTALLED SHALL BE NEW AND IN WORKING ORDER. DEVICES AND MATERIALS SHALL BE LISTED AND BEAR THE "UL" SEAL OF APPROVAL AND INSPECTION LABEL "J".
- THE CONTRACTOR IS TO DEMONSTRATE TO A CLIENT'S PROJECT MANAGER THAT THE SYSTEM IS FULLY ENERGIZED AND WORKING AS INTENDED. CONDUCT CONTINUITY, SHORT CIRCUIT AND FALL OF POTENTIAL GROUNDING TEST. SUBMIT TEST RESULTS TO THE PROJECT MANAGER.
- ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENT ENGRAVED PLASTIC LABELS.
- EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN EACH PANEL BOARD, PULL BOX, J-BOX, SWITCH PLATE, ETC., IN COMPLIANCE WITH OSHA.
- LABEL EACH PANEL BOARD CIRCUIT DIRECTORY CARD, IDENTIFY THE "LOAD SERVED", "SPARE" OR "SPACE".
- THE ENTIRE ELECTRICAL SYSTEM SHALL BE GROUNDED. GROUNDING SHALL BE #2 AWG SOLID TINNED ANNEALED COPPER, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TRENCHING, BACK FILLING AND REPAIRING OF EXISTING SURFACES CUT AND REMOVED FOR UNDERGROUND UTILITY RUNS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING, PATCHING, DRILLING, CHASING, HOLES AND SLEEVES IN EXISTING BUILDING WALLS AND FLOORS REQUIRED TO INSTALL THE NEW ELECTRICAL SERVICE. FIRE-RATED WALL SHALL BE PATCH WITH 3M FIRE SEAL OR EQUAL RATING AS REQUIRED. ALL PENETRATIONS THRU EXTERIOR WALLS SHALL BE CAULKED WEATHER TIGHT.
- THE CONTRACTOR IS TO SUPPLY ALL HANGERS, SUPPORTS, FASTENERS AND HARDWARE FOR A COMPLETE INSTALLATION. ALL OF THE ABOVE SHALL BE ZINC-COATED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL FIELD CONDITIONS PRIOR TO ORDERING LENGTHS OF MATERIAL.
- PRIOR TO THE WIRE INSTALLATION OR BACK FILL OF THE UTILITY TRENCH, THE CONTRACTOR IS TO COORDINATE ALL INSPECTIONS OF THE CONDUIT, SWEEPS AND ANY UTILITY POLE RISERS WITH THE LOCAL UTILITY COMPANY.
- ALL SECONDARY CONDUITS USED FOR EXTERIOR UNDERGROUND UTILITIES SHALL BE PVC SCHEDULE #40, SCHEDULE #80 UNDER ROADWAYS. MINIMUM BEND RADIUS SHALL BE 36". ALL CONDUITS SHALL HAVE MINIMUM OF TWO (2) DRAG LINES. PULL BOXES ARE TO BE INSTALLED WHEN LENGTHS EXCEED 100 FEET. COORDINATE SIZE OF CONDUITS REQUIRED BY THE UTILITY COMPANIES.
- ALL CIRCUIT BREAKERS, FUSES AND FIELD INSTALLED ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING RATING NOT LESS THAN THE MAXIMUM SHORT CIRCUIT TO WHICH THEY MAY BE SUBJECT AND MINIMUM RATING OF 22,000 A.I.C.
- GENERAL CONTRACTOR IS TO COORDINATE ALL OF HIS WORK TO MINIMIZE THE DISTURBANCE TO THE EXISTING SITE OCCUPANTS' WORKERS OR ACCESS REQUIRED BY THE GENERAL PUBLIC OR MAINTENANCE PERSONNEL.
- ANY DISRUPTION OF THE EXISTING ELECTRICAL SERVICE MUST BE COORDINATED WITH THE OTHER SITE OCCUPANTS.
- ANY DISRUPTION OF THE EXISTING SITE CONDITIONS SHALL BE RETURNED TO THEIR PREVIOUS CONDITION OR BETTER.

SCOPE

LTE 2C

REFER TO LATEST RF DATA SHEET FOR FINAL RF DESIGN & BOM.

THIS SET OF DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL THE DRAWINGS HAVE BEEN MARKED "ISSUED FOR CONSTRUCTION" BY TECTONIC.



NEW CINGULAR WIRELESS PCS, LLC
ONE AT&T WAY
REDMINSTER, NJ 07921



BLACK & VEATCH

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TECTONIC

- PLANNING
- ENGINEERING
- SURVEYING
- CONSTRUCTION MANAGEMENT

TECTONIC Engineering & Surveying Consultants P.C.
1279 ROUTE 300
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PROJECT NO: 8002.NYCWN4003

DRAWN BY: MP

CHECKED BY: GL

REV	DATE	DESCRIPTION
1	01/26/18	ISSUED FOR PERMIT



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SITE NAME: WARWICK CENTRAL
SITE NO. NYCWN4003
ADDR: 15 MAPLE AVENUE
WARWICK, NY 10990

SHEET TITLE
GROUNDING DETAILS &
ELECTRICAL NOTES

SHEET NUMBER

G-2

EXHIBIT D



WATERFORD
COMPLIANCE...FROM START TO SIGNAL

Radio Frequency Safety Survey Report Prediction (RFSSRP) Prepared For:



Site Name: Warwick Central
FA#: 10133512
USID: 106838
Site ID: NYCWNY4003
Address: 15 Maple Avenue
Warwick, NY 10990
County: Orange
Latitude: N41-15-40.80
Longitude: W74-21-27.00

Additional Site Information



M-RFSC Name: Michael Kazigian
Site Structure Type: Rooftop

Report Information

Report Writer: Jeffrey Schwartz

Report Generated Date: February 15, 2016

Compliance Statement

AT&T Mobility Compliance Statement: Based on the information collected, AT&T Mobility is Compliant with FCC Rules and Regulations.



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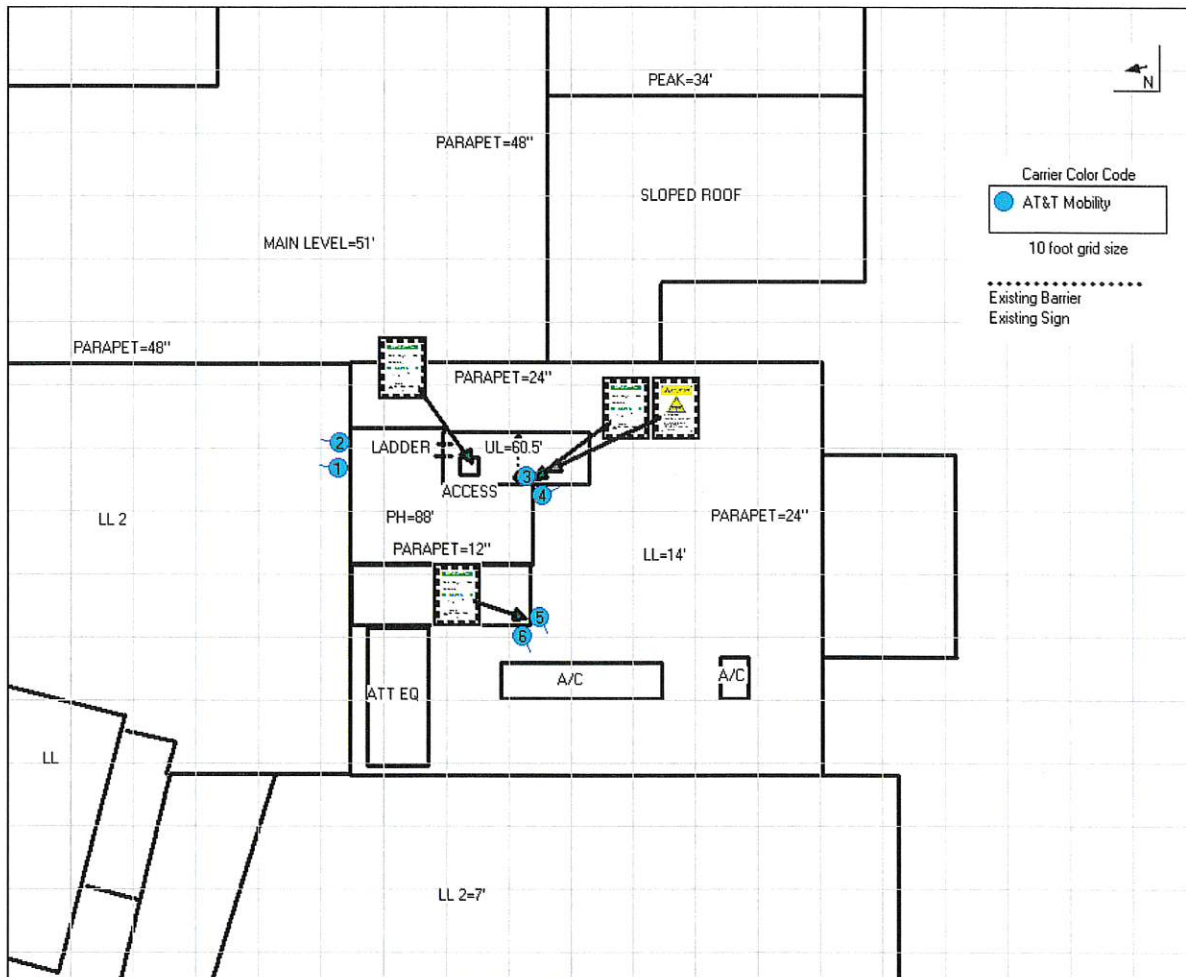
1 General Summary

1.1 Site Summary

Existing RF Sign(s) at Access Point(s)	Information 1
Existing RF Sign(s) at AT&T Mobility Sectors	Alpha: None Beta: Information 1/ Caution Gamma: Information 1
Existing Barriers at AT&T Mobility Sectors	Beta
Existing RF Signs at Other Carrier Sectors	None
Existing RF Barriers at Other Carrier Sectors	None
Max Predictive Spatial Average MPE% & Location on Roof (General Public)	2942.17% in front of AT&T Mobility Gamma Sector Antenna #6
Max Predictive Spatial Average MPE% at Ground (General Public)	0.0086% MPE



2 Site Scale Map



Signs Required for Compliance (AT&T Mobility Only)

Site Name: Warwick Central
Site FA: 10133512



WATERFORD
COMPLIANCE. FROM START TO SIGNAL.

3 Antenna Inventory

Ant #	Operator	Antenna Make	Antenna Model	Type	Frequency (MHz)	Az (deg)	Horizontal Beam width (deg)	Ant (ft)	Antenna Gain (dBd)	GSM Radios	LTE Radios	UMTS Radios	Total ERP (watts)	Mech. DT (deg)	X (ft)	Y (ft)	Z Bottom Tip Ground Level (ft)
1	AT&T Mobility	QUINTEL	QS6658-2 08DT	Panel	850	20	61	6.0	11.95			1	627	0	13	52	82.9
1	AT&T Mobility	QUINTEL	QS6658-2 02DT	Panel	1900	20	54	6.0	14.95			1	1250	0	13	52	82.9
2	AT&T Mobility	QUINTEL	QS6658-3-01DT	Panel	700	20	72	6.0	11.15		1		1043	0	13	56	82.9
2	AT&T Mobility	QUINTEL	QS6658-3-02DT	Panel	850	20	65	6.0	11.55	2			472	0	13	56	82.9
2	AT&T Mobility	QUINTEL	QS6658-3-08DT	Panel	1900	20	71	6.0	15.65		1		2203	0	13	56	82.9
2	AT&T Mobility	QUINTEL	QS6658-3-01DT	Panel	1900	20	72	6.0	15.55		1		2153	0	13	56	82.9
3	AT&T Mobility	QUINTEL	QS6658-2 08DT	Panel	850	170	61	6.0	11.95			1	627	0	43	51	82.9
3	AT&T Mobility	QUINTEL	QS6658-2 02DT	Panel	1900	170	54	6.0	14.95			1	1250	0	43	51	82.9
4	AT&T Mobility	QUINTEL	QS6658-3-01DT	Panel	700	170	72	6.0	11.15		1		1043	0	46	48	82.9
4	AT&T Mobility	QUINTEL	QS6658-3-02DT	Panel	850	170	66	6.0	11.45	2			472	0	46	48	82.9
4	AT&T Mobility	QUINTEL	QS6658-3-08DT	Panel	1900	170	71	6.0	15.65		1		2203	0	46	48	82.9
4	AT&T Mobility	QUINTEL	QS6658-3-01DT	Panel	1900	170	72	6.0	15.55		1		2153	0	46	48	82.9
5	AT&T Mobility	QUINTEL	QS6658-2 08DT	Panel	850	255	61	6.0	11.95			1	627	0	45	28	82.9
5	AT&T Mobility	QUINTEL	QS6658-2 02DT	Panel	1900	255	54	6.0	14.95			1	1250	0	45	28	82.9
6	AT&T Mobility	QUINTEL	QS6658-3-01DT	Panel	700	255	72	6.0	11.15		1		1043	0	43	25	82.9
6	AT&T Mobility	QUINTEL	QS6658-3-02DT	Panel	850	255	65	6.0	11.55	2			472	0	43	25	82.9
6	AT&T Mobility	QUINTEL	QS6658-3-08DT	Panel	1900	255	71	6.0	15.65		1		2203	0	43	25	82.9
6	AT&T Mobility	QUINTEL	QS6658-3-01DT	Panel	1900	255	72	6.0	15.55		1		2153	0	43	25	82.9

Note: Waterford Consultants has assumed transmission parameters for Unknown RF emitters based on similar installations found at other radio communications sites. Generic antenna models have been used where existing antenna part numbers or radiation patterns are not available. The frequencies presented in this table may have been assumed in order to represent the approximate band of operation and to support a worst-case calculation of power density.



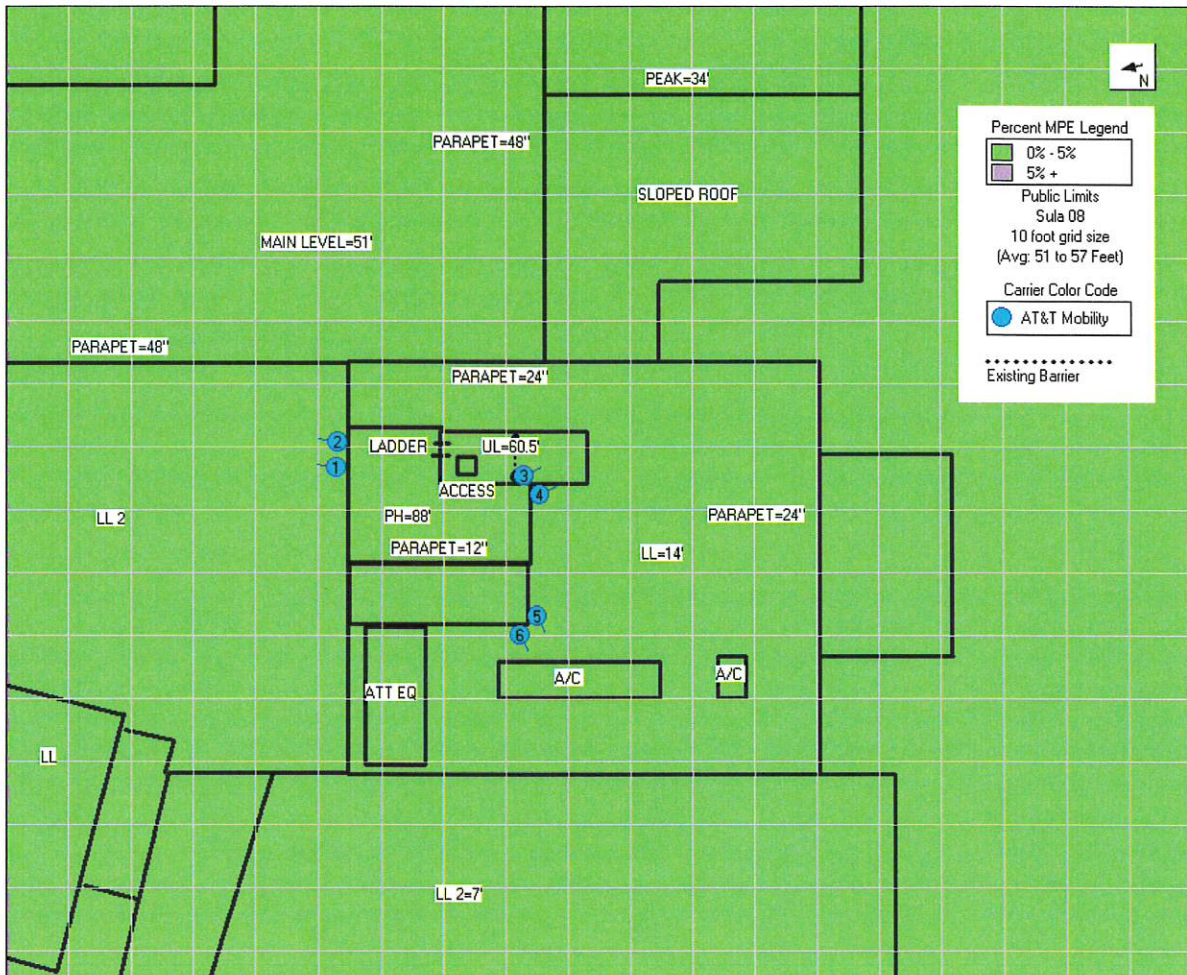
4 Predicted Emission Levels and Discussion

The following plots show the spatial average predicted power density levels in the reference plane indicated as a percentage of the General Public Limits. Please note that 100% of the General Public Limits corresponds to 20% of the Occupational Limits.

The reference plane for the plot is the roof level, as indicated in the caption. For example, "Avg 10 to 16 Feet" refers to the spatial average predicted power density level between 10 and 16 feet above the main level. Plots are produced for each accessible level. Levels that are not accessible will not be shown. Only accessible areas in a plot are relevant. Areas not accessible or in free space, off the edge of a roof or equipment penthouse, do not affect compliance.



4.1 Predictive AT&T Mobility's RF Contribution Only on the Site

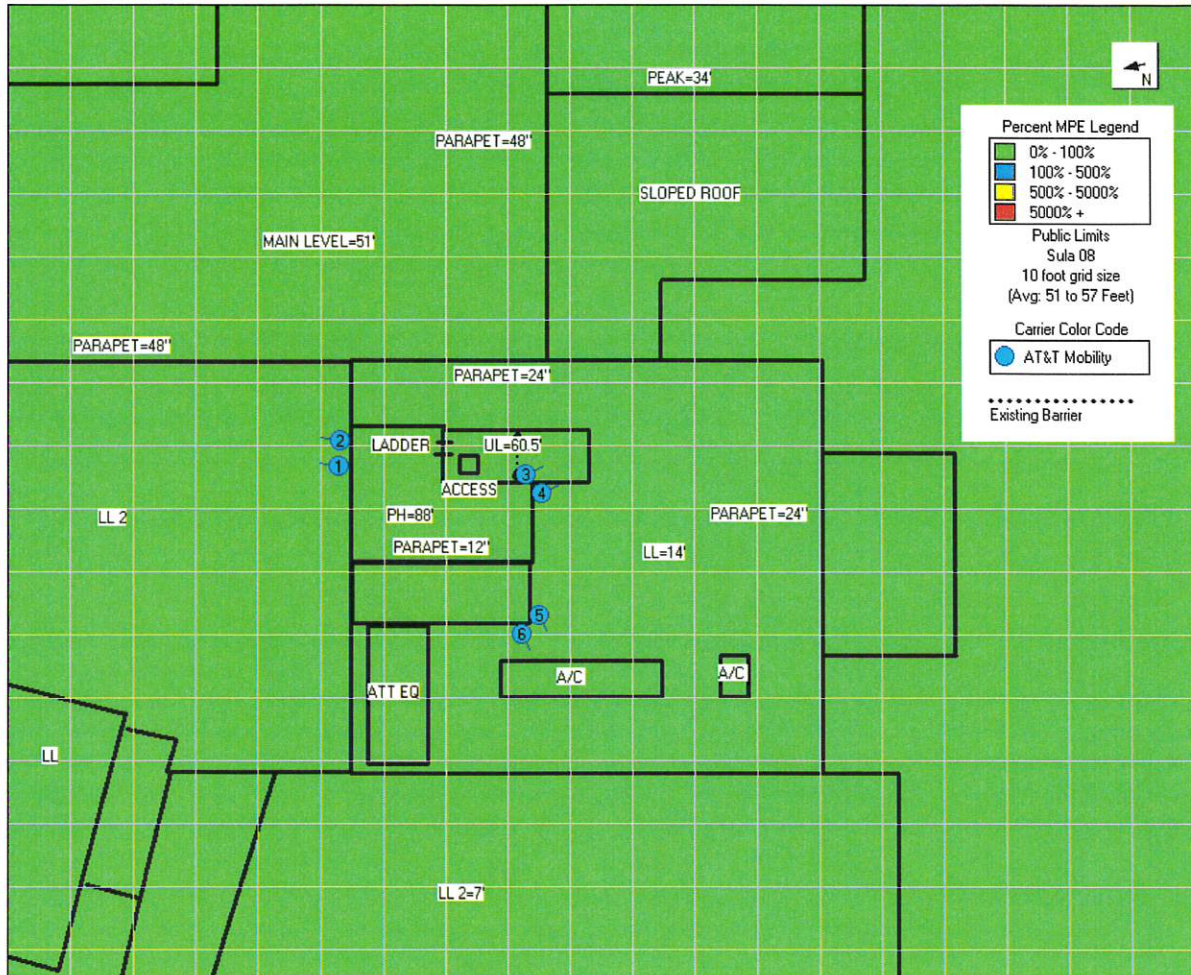


The reference plane for the plot is the main level.

Site Name: Warwick Central
Site FA: 10133512



WATERFORD
COMPLIANCE FROM START TO SIGNAL

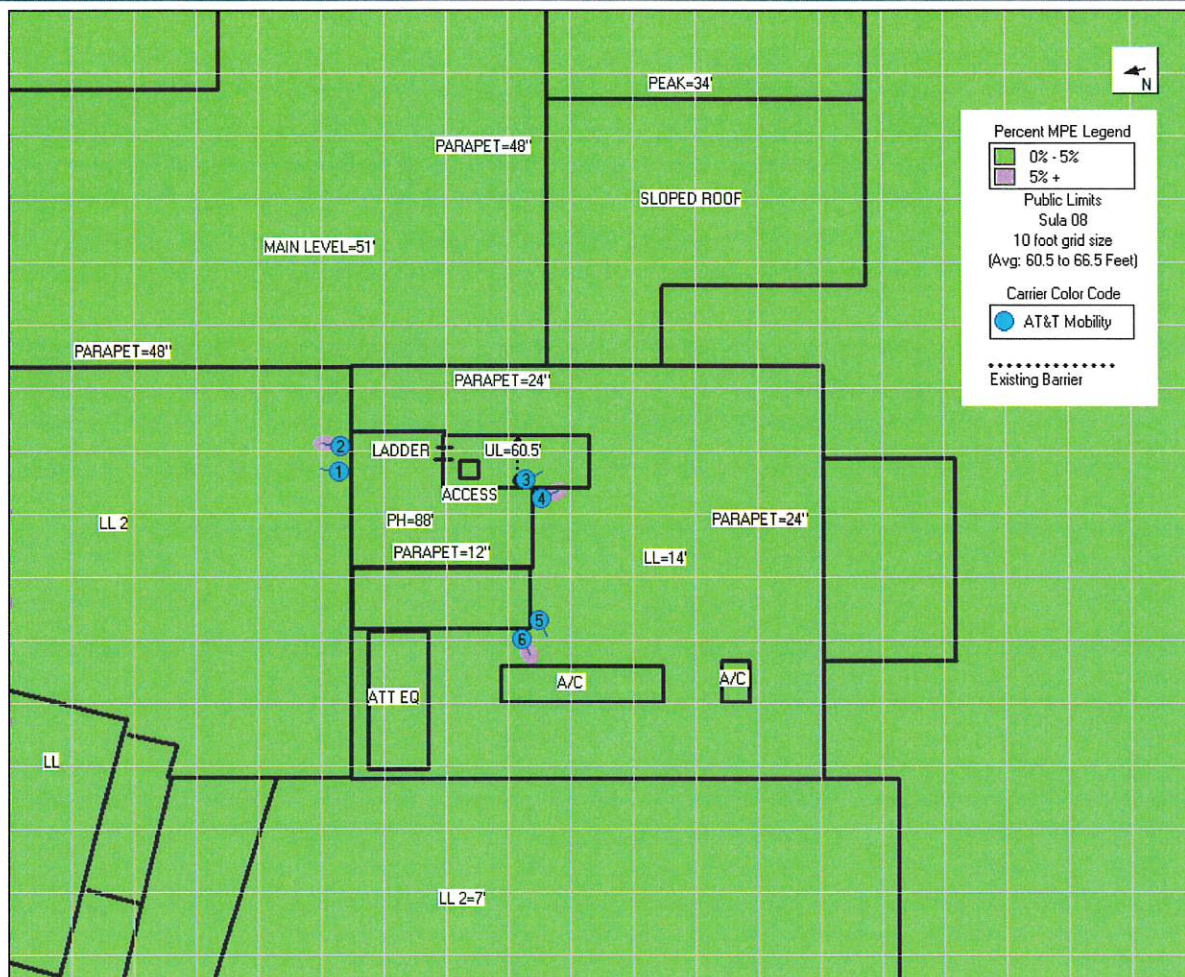


The reference plane for the plot is the main level.

Site Name: Warwick Central
 Site FA: 10133512



WATERFORD
 COMPLIANCE FROM START TO SIGNAL

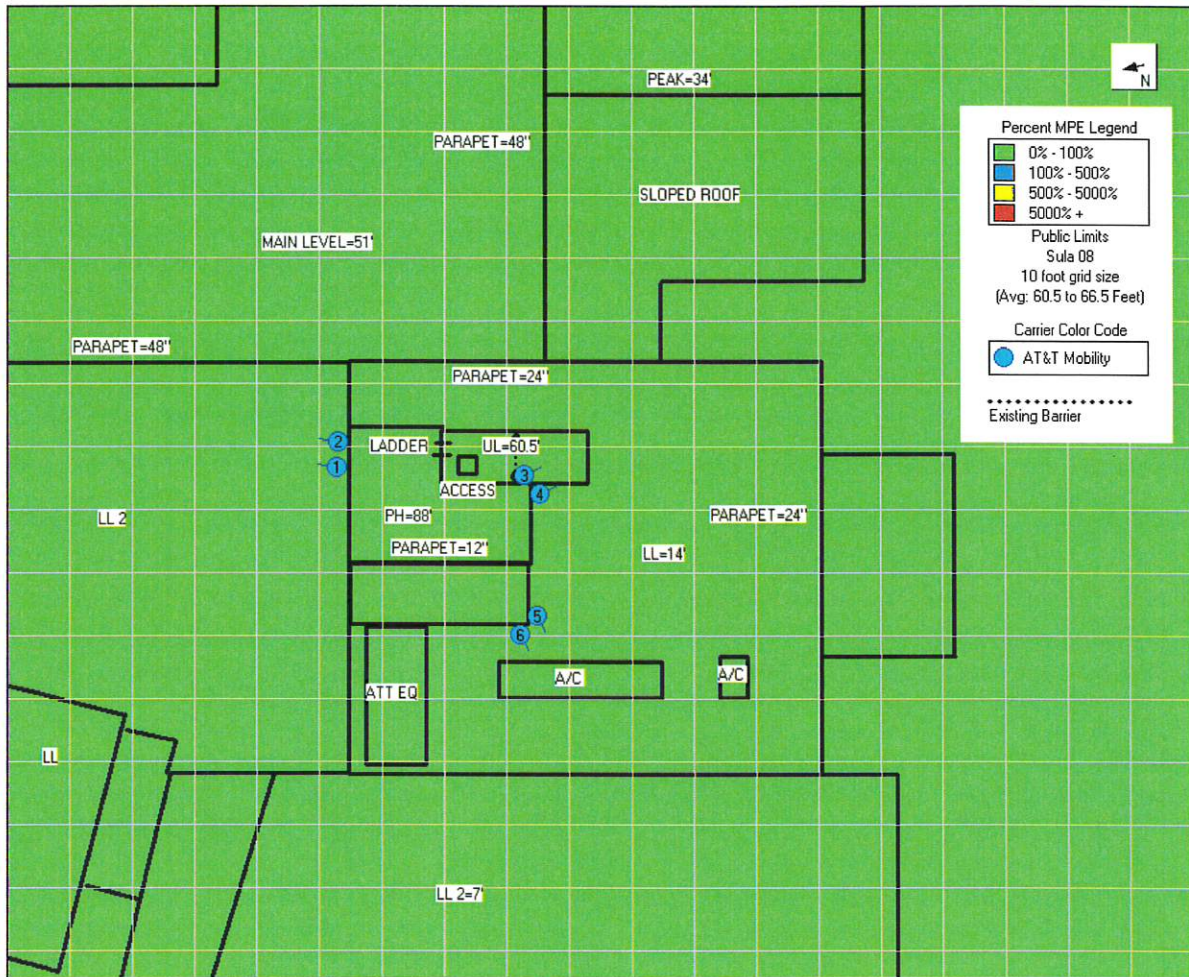


The reference plane for the plot is the upper level.

Site Name: Warwick Central
Site FA: 10133512



WATERFORD
COMPLIANCE FROM START TO SIGNAL

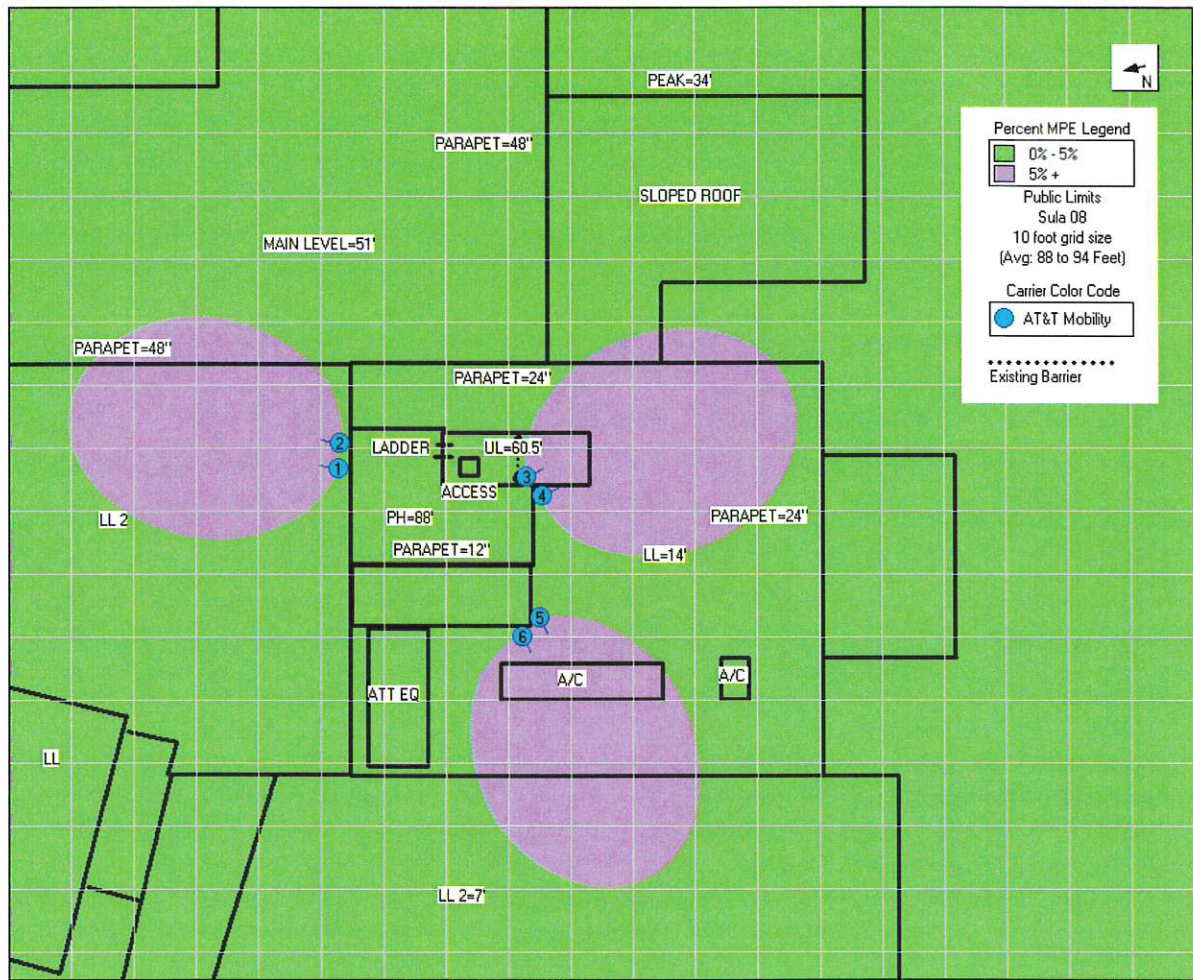


The reference plane for the plot is the upper level.

Site Name: Warwick Central
 Site FA: 10133512



WATERFORD
 COMPLIANCE FROM START TO SIGNAL

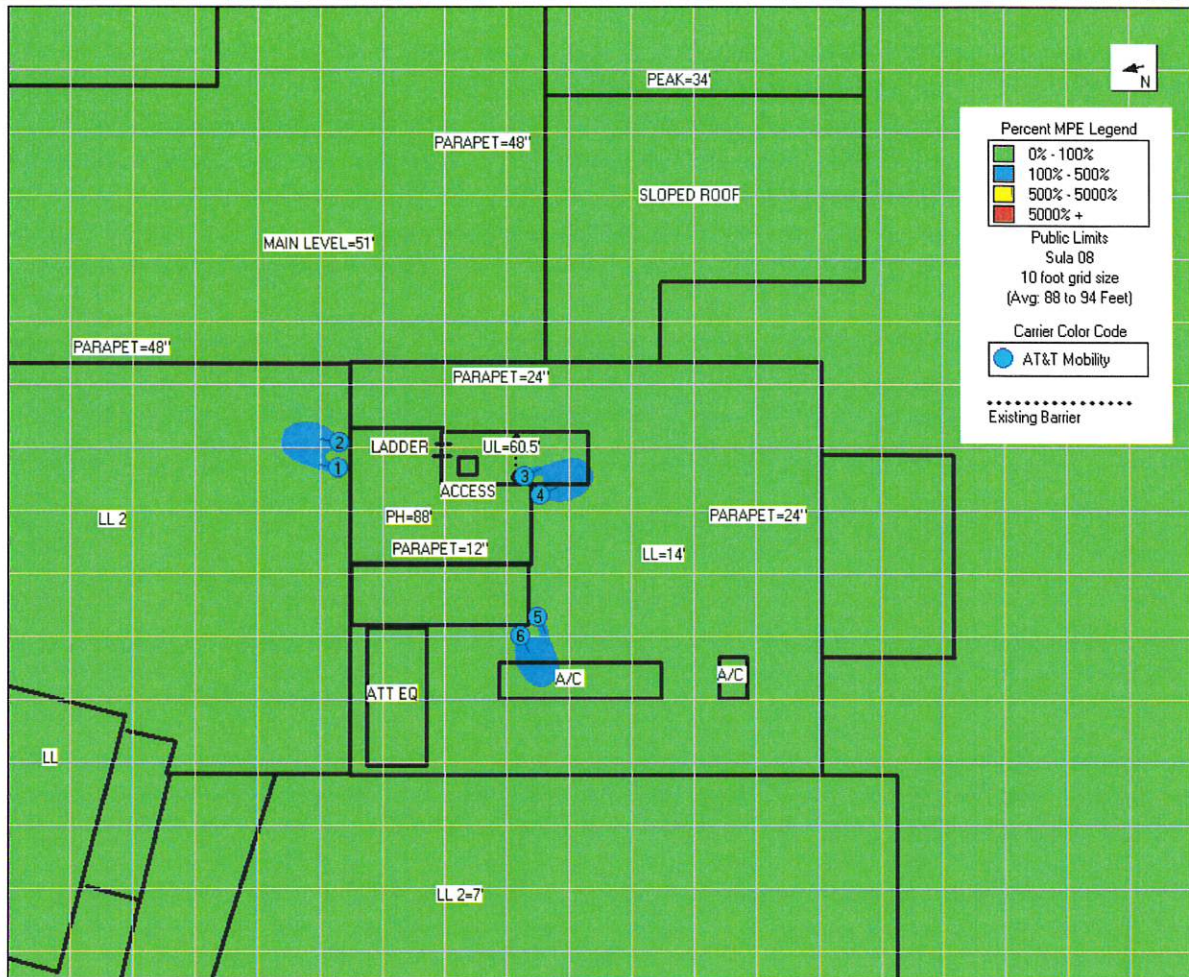


The reference plane for the plot is the penthouse level.

Site Name: Warwick Central
Site FA: 10133512



WATERFORD
COMPLIANCE FROM START TO SIGNAL

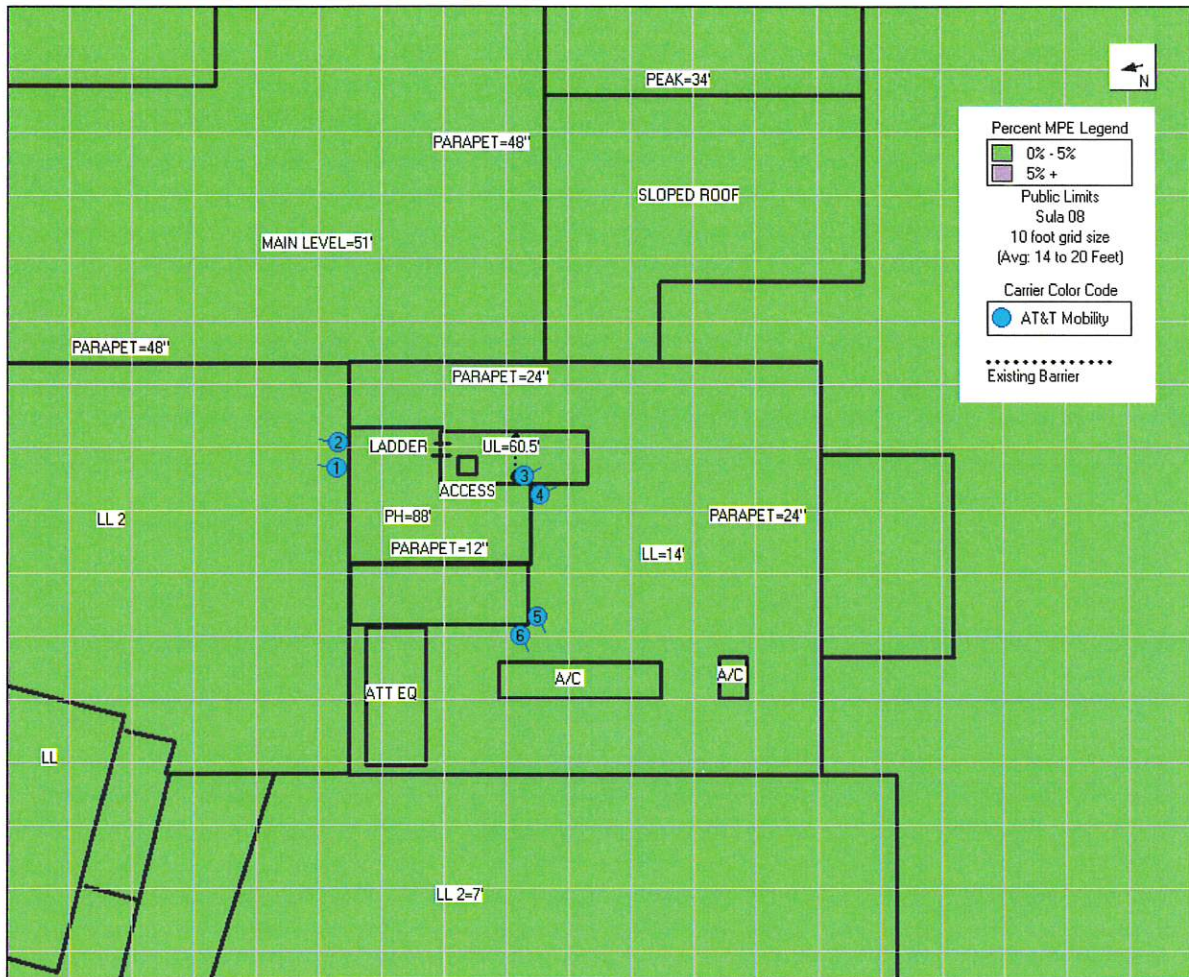


The reference plane for the plot is the penthouse level.

Site Name: Warwick Central
Site FA: 10133512



WATERFORD
COMPLIANCE FROM START TO SIGNAL

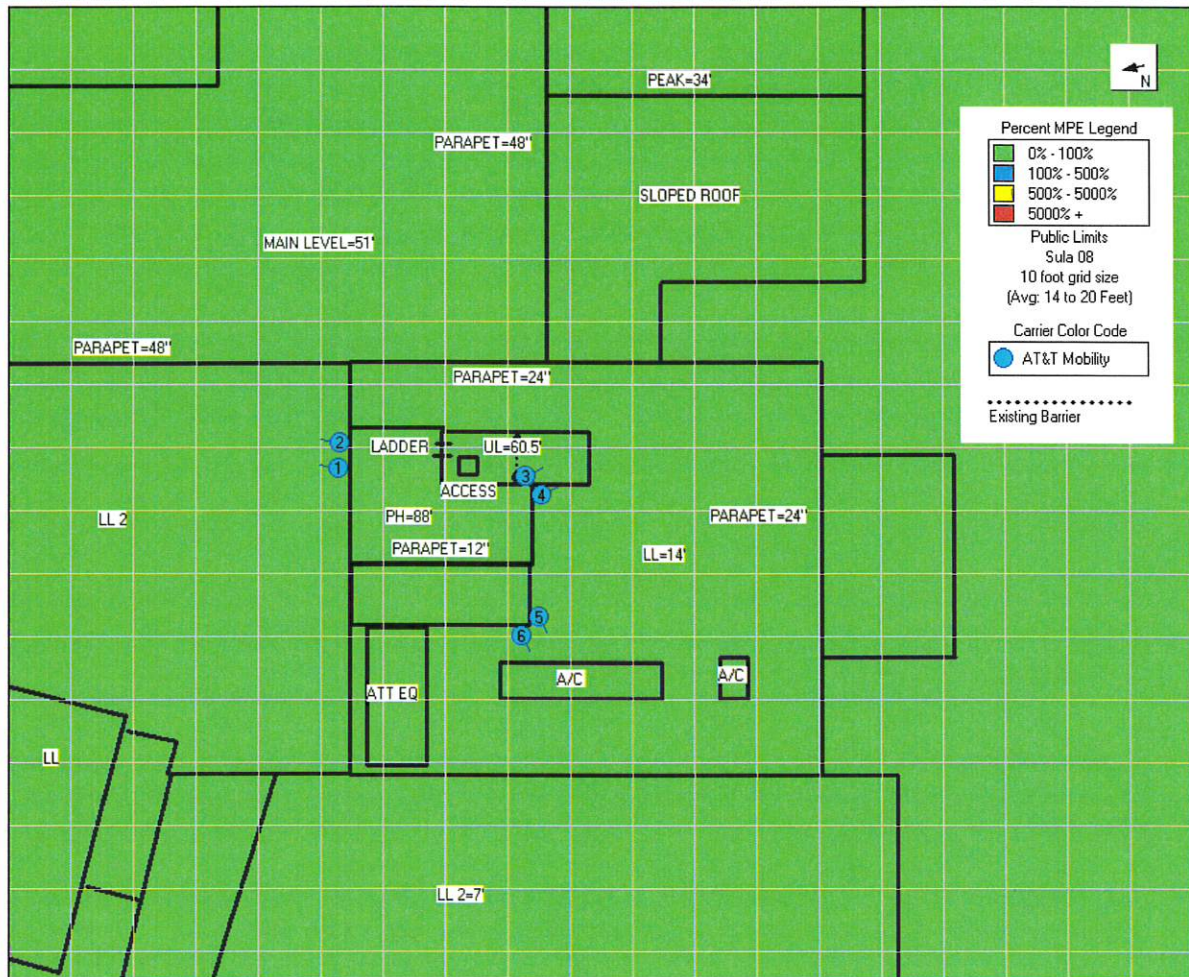


The reference plane for the plot is the lower level.

Site Name: Warwick Central
Site FA: 10133512



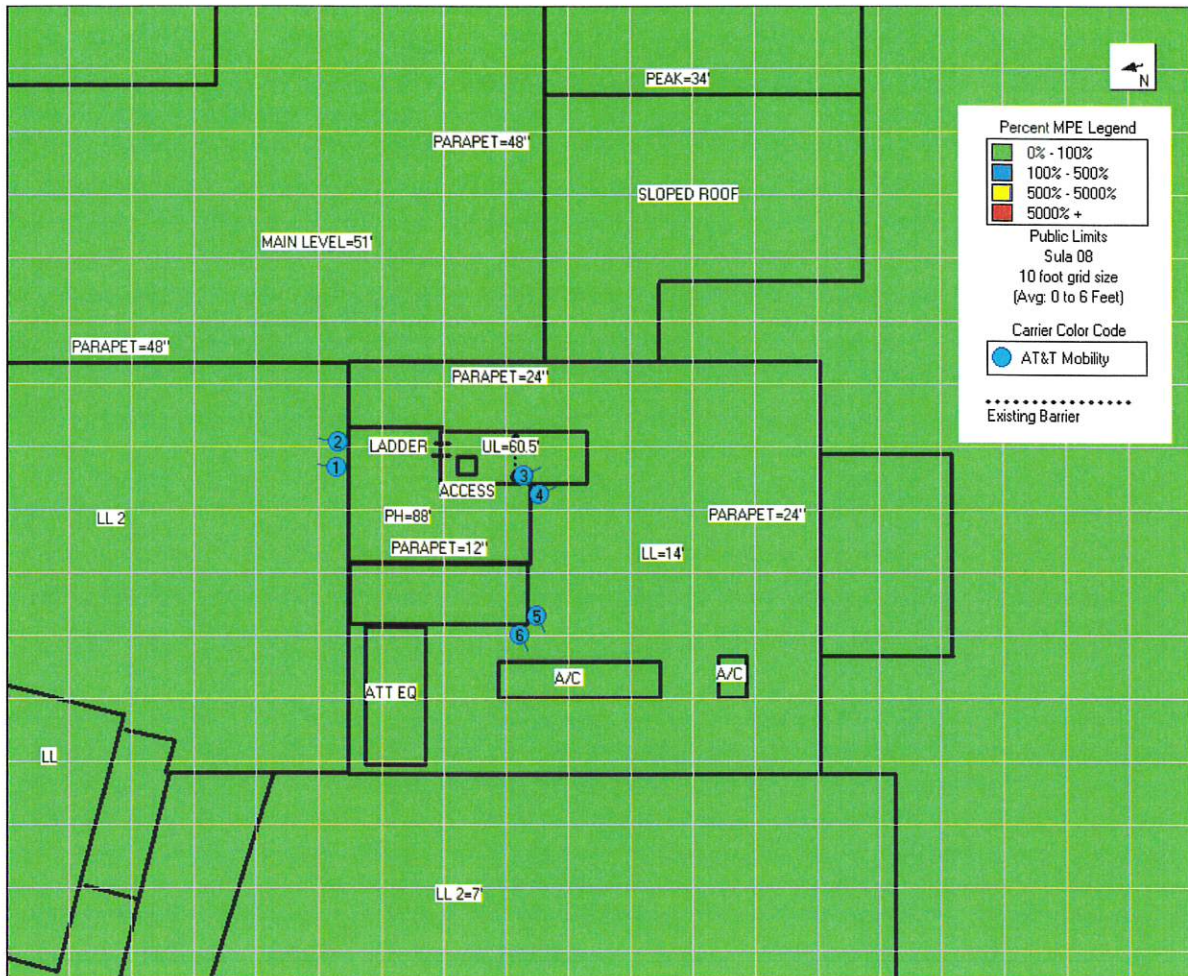
WATERFORD
COMPLIANCE FROM START TO SIGNAL



The reference plane for the plot is the lower level.



4.2 Predictive RF Contribution from All Sources at Ground Level



The reference plane for the plot is ground level.



5 Statement of Compliance

5.1 Statement of AT&T Mobility Compliance

At the time of our audit, AT&T Mobility is in **compliance** with the FCC's OET Rules and Regulations. No action is required.

5.2 Recommendations

No actions are required at this time.



6 Appendix A

6.1 Technical Framework

The FCC requires licensees to ensure that persons are not exposed to radiofrequency electromagnetic energy power densities in excess of the applicable MPE (Maximum Permissible Exposure) limits. These rules apply to both Occupational Personnel and the General Population. Applicable FCC rules are found at 47 C.F.R. § § 1.1307(b)(3) and 1.1310. The FCC rules define two tiers of permissible exposure differentiated by the situation in which the exposure takes place and/or the status of the individuals who are subject to exposure.

General Population / uncontrolled exposure limits apply to those situations in which persons may not be aware of the presence of electromagnetic energy, where exposure is not employment-related, or where persons cannot exercise control over their exposure.

Occupational / controlled exposure limits apply to situations in which persons are exposed as a consequence of their employment, have been made fully aware of the potential for exposure, and can exercise control over their exposure.

Maximum Permissible Exposure ("MPE") is defined in OET 65 as being 100% of the exposure limits for the situation or tier of permissible exposure. These limits are listed as follows:

Limits for Occupational/Controlled Exposure

Frequency Range (MHz)	Electric Field Strength (E) (V/m)	Magnetic Field (H) (A/m)	Power Density (S) (mW/cm ²)	Averaging Time E ² , H ² or S (minutes)
0.3-3.0	614	1.63	(100)*	6
3.0-30	1842/f	4.89/f	(900/f ²)*	6
30-300	61.5	0.163	1.0	6
300-1500	--		f/300	6
1500-100,000	--		5	6

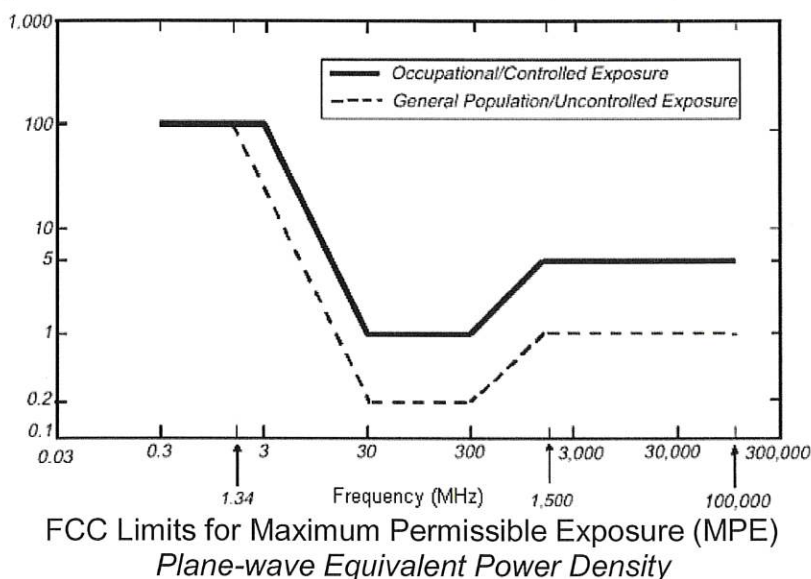
Limits for General Population/Uncontrolled Exposure

Frequency Range (MHz)	Electric Field Strength (E) (V/m)	Magnetic Field (H) (A/m)	Power Density (S) (mW/cm ²)	Averaging Time E ² , H ² or S (minutes)
0.3-1.34	614	1.63	(100)*	30
1.34-30	842/f	2.19/f	(180/f ²)*	30
30-300	27.5	0.073	0.2	30
300-1500	--		f/1500	30
1500-100,000	--		1.0	30



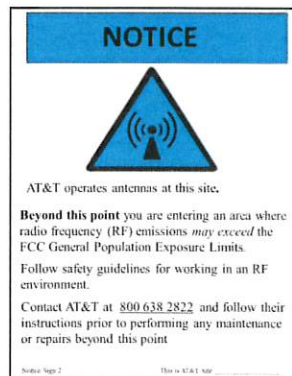
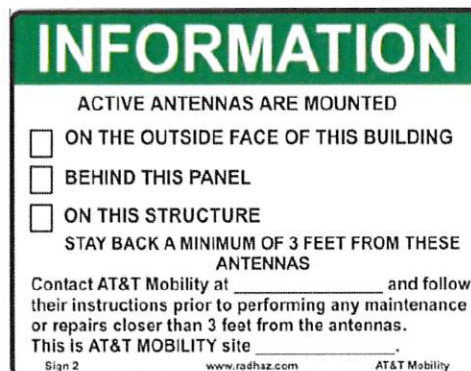
f = frequency in MHz

*Plane-wave equivalent power density



For any area in excess of 100% General Population MPE, access controls with appropriate RF alerting signage must be put in place and maintained to restrict access to authorized personnel. Subject to other site security requirements, Occupational Personnel trained in RF safety and equipped with personal protective equipment designed for safe work in the vicinity of RF may be granted access. Controls such as physical barriers to entry imposed by locked doors, locked passageways, or other access control mechanisms may be supplemented by alarms that alert the individual and notify site management of a breach in access control. Controls may include administrative policies and procedures requiring personal protective equipment (e.g. RF personal monitor), proof of RF training to obtain site access cards, presentation of appropriate RF awareness training certifications to security personnel or other measures designed to prevent uncontrolled access.

RF alerting signs are not necessarily required, and by FCC guidelines, alone do not constitute compliance, posting of the appropriate **NOTICE**, **CAUTION**, or **WARNING** signs at areas of concern is considered good practice. The signs below are examples of signs meeting FCC guidelines.



Power density decreases significantly over a short distance from any antenna. Specifically with respect to directional panel antennas, the design, orientation in azimuth and elevation as documented, reasonably precludes potential to exceed MPE limits at any location other than directly in front of the antenna. Areas in front of the antenna that are restricted by barriers, would require climbing or are otherwise beyond the reach of a standing individual of average height are not considered accessible. Analysis or measurement of instantaneous energy levels is performed for use as proof of compliance with FCC rules and regulations applicable to non-occupational persons, those individuals who are not authorized to access portions of the antenna support structure above ground level. To assess time-average exposure for occupational personnel working within secured areas of the site, on the



supporting structure, or in the immediate proximity of the antenna equipment is a separate study requiring detailed ergonomic information.

FCC regulations regarding Radiofrequency radiation exposure, expressed in 47 CFR § 1.1310 are further clarified with respect to the value of 5% of exposure limits for the subject transmitters in the following section of 47 CFR § 1.1307 (b):

(3) In general, when the guidelines specified in § 1.1310 are exceeded in an accessible area due to the emissions from multiple fixed transmitters, actions necessary to bring the area into compliance are the shared responsibility of all licensees whose transmitters produce, at the area in question, power density levels that exceed 5% of the power density exposure limit applicable to their particular transmitter or field strength levels that, when squared, exceed 5% of the square of the electric or magnetic field strength limit applicable to their particular transmitter. Owners of transmitter sites are expected to allow applicants and licensees to take reasonable steps to comply with the requirements contained in § 1.1307(b) and, where feasible, should encourage co-location of transmitters and common solutions for controlling access to areas where the RF exposure limits contained in § 1.1310 might be exceeded.

Following these FCC requirements, predictive modeling has been performed to evaluate power density resulting from client transmitters as a percentage of the power density MPE limit applicable to their transmitters. These results are presented in Section 4.

The site should be routinely inspected and this or a similar report updated with any changes to the RF environment including:

- Adding new antennas
- Removing of any existing antennas
- Change in the radiating power or number of RF emitters

Waterford Consultants recommends coordinating with all wireless tenants before performing services in front of or near any transmitting antennas. During these activities, it may be appropriate to utilize Lockout/Tagout Procedures as specified in ATT-002-290-078, "RF Exposure: Responsibilities, Procedures & Guidelines" for scheduled outages to eliminate RF hazards during these activities.



7 Appendix B

7.1 Qualifications of Waterford Consultants, LLC

With more than 100 team-years of experience, Waterford Consultants, LLC [Waterford] provides technical consulting services to clients in the Radio Communications and antenna locating industry. Waterford retains professional engineers who are placed in responsible charge of the processes for analysis.

Waterford is familiar with 47 C.F.R. § § 1.1307(b)(3) and 1.1310 along with the general Rules, Regulations and policies of the FCC. Waterford work processes incorporate all specifications of FCC Office of Engineering and Technology, Bulletin 65 ("OET65"), from the website: www.fcc.gov/oet/rfsafety and follow criteria detailed in 47 CFR § 1.1310 "Radiofrequency radiation exposure Limits".

Within the technical and regulatory framework detailed above, Waterford developed tools according to recognized and generally accepted good engineering practices. Permissible exposure limits are band specific, and the Waterford computerized modeling tools correctly calculate permissible exposure based on the band(s) specified in the input data. Only clients and client representatives are authorized to provide input data through the Waterford web portal. In securing that authorization, clients and client representatives attest to the accuracy of all input data.

Waterford Consultants, LLC attests to the accuracy of the engineering calculations computed by those modeling tools. Furthermore, Waterford attests that the results of those engineering calculations are correctly summarized in this report.



8 Appendix C

8.1 RoofMaster™

RoofMaster™ is the software package that Waterford Consultants created to model RF environments associated with multiple emitters where the potential exists for human exposure. Based on the computational guidelines set forth in OET Bulletin 65 from the Federal Communications Commission (FCC), RoofMaster™ considers the operating parameters of specified RF sources to predict the overall Maximum Permissible Exposure possible at a given location. These theoretical results represent worst-case predictions as emitters are assumed to be operating at 100% duty cycle.

From the FCC document:

"The revised OET Bulletin 65 has been prepared to provide assistance in determining whether proposed or existing transmitting facilities, operations or devices comply with limits for human exposure to radiofrequency (RF) fields adopted by the Federal Communications Commission (FCC). The bulletin offers guidelines and suggestions for evaluating compliance."

http://transition.fcc.gov/Bureaus/Engineering_Technology/Documents/bulletins/oet65/oet65.pdf



9 Appendix D

9.1 Statement of Limiting Conditions

Waterford Consultants has received data pertaining to RF environment provided by the client. Waterford Consultants will not be responsible for matters of a legal nature that affect the site or property. The property has been analyzed under the premise that it is under responsible ownership and management and our client has the legal right to conduct business at this facility.

Due to the complexity of some wireless sites, Waterford Consultants has created this report utilizing best industry practices and due diligence. Waterford Consultants cannot be held accountable or responsible for anomalies or discrepancies due to actual site conditions (i.e., mislabelling of antennas or equipment, inaccessible cable runs, inaccessible antennas or equipment, etc.) or information or data supplied by Wireless Carrier, the site manager, or their affiliates, subcontractors or assigns.

Waterford Consultants has provided the results of a computer generated model in this MPE Site Compliance Report to show approximate dimensions of the site, and the model results is included to assist the reader of the compliance report to visualize the site area, and to provide supporting documentation for Waterford Consultants' recommendations.

Waterford Consultants will not be responsible for any existing conditions or for any engineering or testing that might be required to discover whether adverse safety conditions exist. Because Waterford Consultants is not an expert in the field of mechanical engineering or building maintenance, this MPE Site Compliance Report must not be considered a structural or physical engineering report.

Waterford Consultants obtained information used in this MPE Site Compliance Report from sources that Waterford Consultants considers reliable and believes them to be true and correct. Waterford Consultants does not assume any responsibility for the accuracy of such items that were furnished by other parties.

EXHIBIT E

8002.NYCWN4003
AT&T / BLACK & VEATCH

1/12/16

ANALYSIS OF EXISTING ANTENNA MOUNTS
LTE 2C

SITE NAME

WARWICK CENTRAL
FA#: 10133512

SITE ADDRESS

15 MAPLE AVENUE
WARWICK, NY 10990

PURPOSE

- ANALYSIS OF EXISTING ANTENNA MOUNTS LOCATED ON THE EXISTING ROOF.

DESIGN CRITERIA

1. ANTENNA MANUFACTURERS SPECIFICATIONS.
2. NEW YORK STATE BUILDING CODE.
3. ASCE 7-05.

ASSUMPTIONS

1. AS NOTED

REFERENCES

1. FIELD NOTES AND FIELD PICTURES
2. MANUAL OF STEEL CONSTRUCTION (AISC 14TH EDITION)
3. DRAWINGS BY TECTONIC DATED 03-29-2013.
4. STRUCTURAL BY TECTONIC DATED 06-28-12.



PROCEDURE

1. CALCULATE THE LOADS TO BE RESISTED.
2. CHECK MEMBER STRESSES TO RESIST LOADS.
3. CHECK SUPPORTING BUILDING ELEMENTS.
4. CHECK CONNECTIONS.

RESULTS/CONCLUSIONS

THE EXISTING ANTENNA MOUNTS ARE ADEQUATE TO SUPPORT THE PROPOSED INSTALLATION. THE EXISTING STRUCTURE IS ADEQUATE TO SUPPORT THE ANTENNA UPGRADE.

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND RECOMMENDATIONS AS NOTED ON THE CONSTRUCTION DRAWINGS AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. ANY FURTHER CHANGES TO THE ANTENNA AND/OR APPURTENANCE CONFIGURATION SHOULD BE REVIEWED WITH RESPECT TO THEIR EFFECT ON STRUCTURAL LOADS PRIOR TO IMPLEMENTATION.

PREPARED BY: _____ J. VASSELL _____

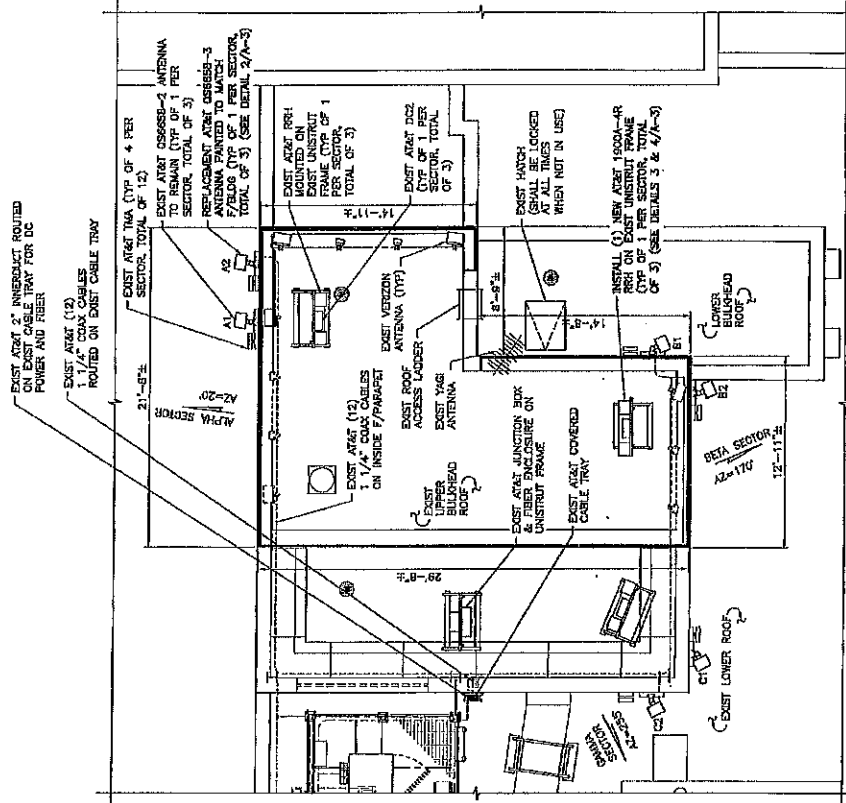
DATE: 01/09/16

REVIEWED BY: _____ E. IAMICELI _____

DATE: 01/12/2016

ANTENNA AND TRANSMISSION CABLES REQUIREMENT									
SECTOR	FINAL ANTENNA TYPE	EXIST TECHNOLOGY	FINAL ANTENNA AZIMUTH	STATUS	FINAL TMA/RRH	QTY	LENGTH	TRANSMISSION CABLE TYPE	COLOR CODE
A1	QUINTEL CS6658B-2	UNITS	20°	EXIST	2/0	2	100'	1 1/4" COAX	G/R/O
A2	QUINTEL CS6658B-3	LTE/GSM	25°	REPLACE	2/2	2	100'	FIBER 1 1/4" COAX	G/G/P
B1	QUINTEL CS6658B-2	UNITS	170°	EXIST	2/0	2	100'	1 1/4" COAX	B/R/O
B2	QUINTEL CS6658B-3	LTE/GSM	170°	REPLACE	2/2	2	100'	FIBER 1 1/4" COAX	G/R/P
C1	QUINTEL CS6658B-2	UNITS	225°	EXIST	2/0	2	100'	1 1/4" COAX	B/W/O
C2	QUINTEL CS6658B-3	LTE/GSM	225°	REPLACE	2/2	2	100'	FIBER 1 1/4" COAX	G/G/P

NOTE: FIBER LENGTHS PROVIDED ARE ESTIMATED BASED ON VISUAL INSPECTION FROM GROUND AND INFORMATION PROVIDED BY THE CLIENT.



2 NEW ANTENNA PLAN

SCALE: N.T.S.

REFERENCE

TECTONIC

Practical Solutions, Exceptional Service

Job No. 8002.NYCWN4003

Sheet No. of

Calculated By JV Date: 01/08/16

Checked By EI Date: 01/12/16

Title:

CALCULATION OF WIND LOAD ON ANTENNA - REV-F**Antenna Information:**

Model No. = QUINTEL QS6658-3
 Height = 72 in
 Width = 12 in
 Depth = 9.6 in
 Area, A_a = 2.96 ft² Per Manuf.
 Weight = 77 lbs
 Antenna Centerline = 87.00 ft

Geographic Information:

County: ORANGE
 Wind Speed = 70 mph PER REV. F

Supporting Pipe Information:

Pipe Length = 7 ft
 Pipe Size = 2 1/2" PIPE in
 Width = 2.875 in
 Area = 1.59 in
 Weight = 5.79 lb/ft

Design Parameters:

Per, TIA/EIA-222-F-1996:

Design Wind Load, $F = q_z G_H (C_A A_A)$

q_z = 16.55 psf
 K_z = 1.32 ft
 G_H = 1.17 $G_H = 1.1724$
 Antenna C_A = 1.40
 Pipe C_A = 1.2

Normal Force on Antenna, F_N = 80 lbs
 Transverse Force on Antenna, F_T = 130 lbs
 Force on Pipe F_A = 39 lbs 6 LBS/FT

TECTONIC

OFFICES:
 Mountainville, NY New York, NY
 Richmond, VA Albany, NY
 Hartford, CT Saddle Brook, NJ
 Tempe, AZ Tampa, FL
 Albuquerque, NM (800) 829-8531

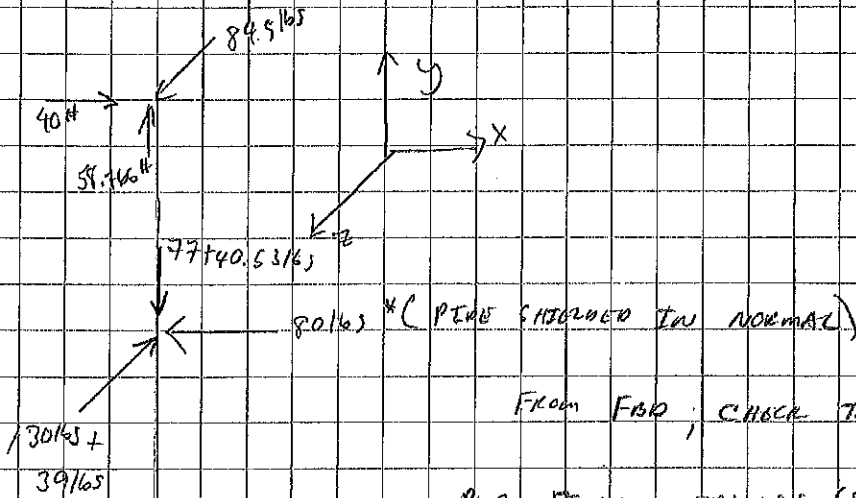
JOB 8002. NYCLWNY 4003

SHEET NO. _____ OF _____
 CALCULATED BY JV DATE 1/9/16
 CHECKED BY EI DATE 01/12/16
 SCALE _____

ANTENNA CONNECTION CHECK

PER SPECIFICATION;
 $F_u = 80 \text{ k}$
 $F_y = 130 \text{ k}$
 $F_A \text{ (TENS)} = 39 \text{ k}$

ANTENNA WEIGHT = 77 lbs
 PILE WEIGHT = $5.79 \text{ lbs/ft} \times 7 \text{ ft} = 40.53 \text{ lbs}$



FROM FBD; CHECK TRANSVERSE FOR WORST CASE

PER FIELD NOTES; USE (2) $\frac{5}{8}$ " ϕ HILTI HP7 HV-20
 W/ 6" ENL.

$T_{max} = 815 \text{ lbs}$
 $V_{max} = 1355 \text{ lbs}$

$$V_{max} = \sqrt{58.765^2 + 84.5^2} = 103 \text{ lbs}$$

T_{max} = ANTENNAS ARE FLUSHED MOUNTED AND WIND ON THE STRUCTURE DOES NOT
 CHANGE. ANCHORS ARE IN COMPRESSION SO V_{max} GOVERNS.

INT: $\frac{103}{(0.1355)} = 0.04 < 1.0$; ANCHORS ARE ADEQUATE

STRUCTURE CHECK: THERE IS NO CHANGE OF WIND ON STRUCTURE SINCE
 MOUNTS ARE FLUSHED, HENCEFORTH IT IS SAFE TO SAY
 THE EXISTING STRUCTURE IS ADEQUATE.

TECTONIC

OFFICES:
Mountainville, NY New York, NY
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Hartford, CT Saddle Brook, NJ
Tempe, AZ Tampa, FL
Albuquerque, NM (800) 829-6631

JOB 8002. NYC WNY 4003

SHEET NO. _____ OF _____

CALCULATED BY JV

DATE 1/9/16

CHECKED BY EI

DATE 01/12/16

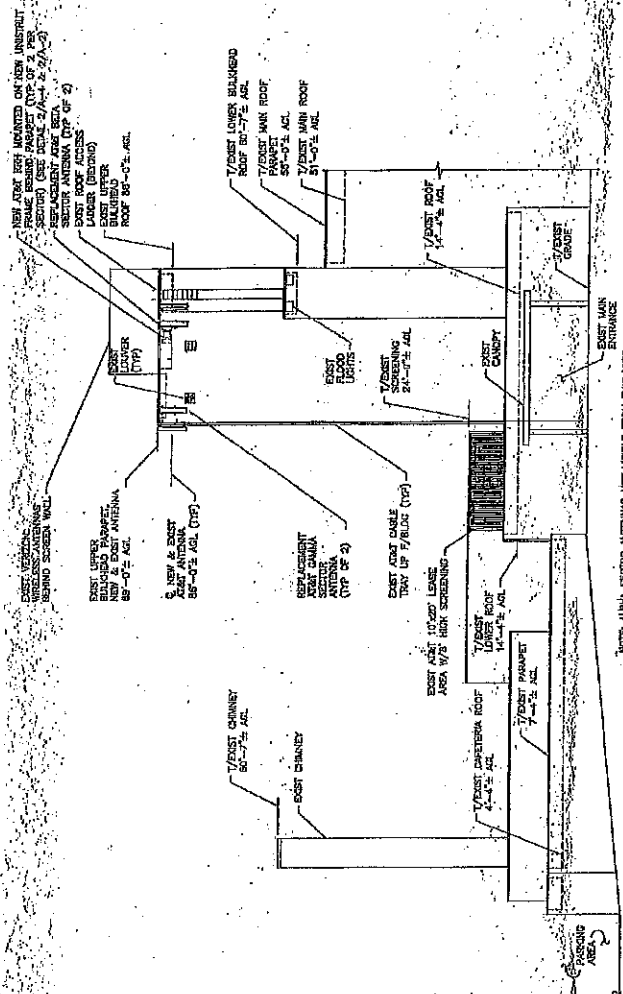
SCALE _____

RPH BALLAST MOUNT CHECK

-PER S&S CO'S BY TECTONIC DATED 03/28/13, THE PROPOSED BALLAST MOUNT
ACCOUNTED FOR (2) RPH'S AND (1) DC 2.

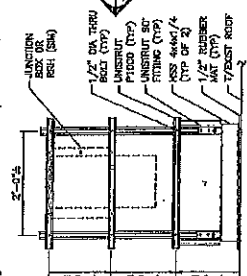
-THE PROPOSED LAYOUT CONSISTS OF (2) RPH'S AND (1) DC 2, THEREFORE
THE EXISTING RPH MOUNT IS ADEQUATE.

NOTE: STRUCTURAL LETTER BY TECTONIC
ENGINEERING DATED DECEMBER 1, 2012



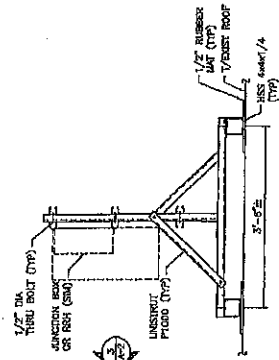
- NOTES:
1. PER CLARITY SITE FEATURES AS SHOWN ARE LIMITED TO THE EXISTING AND THE NEW FLOOR WHEELS INSULATION.
 2. CONTRACTOR SHALL FIELD VERIFY THE ACCURACY TO ROUTE THE INSULATION FROM TO CONSTRUCTION. FIELD LOCATION SHALL BE IN CONFORMANCE WITH THE EXISTING AND THE NEW FLOOR WHEELS INSULATION.
 3. CONTRACTOR SHALL MAINTAIN A 10'-0" MINIMUM CLEARANCE FROM THE EXISTING AND THE NEW FLOOR WHEELS INSULATION.
 4. THE 1/2" RIG. 1/2" CABLE WILL BE INSTALLED IF REQUIRED FROM THE EXISTING TO THE ANTENNAS ALONG EXISTING CLAS.
 5. HEIGHTS SHOWN BASED ON TAPE CORP. SURVEY BY BLACK & VEATCH.

1 ELEVATION
A-2 SCALE 3/32" = 1'-0"



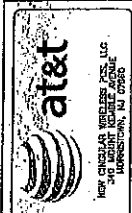
NOTE: COORDINATE WITH THE MANUFACTURER SPECIFICATIONS FOR INSULATION OF THE JUNCTION BOX (F312).
RIB MUST HAVE 4" CLEARANCE ON BOTH SIDES AND 12" BELOW.

2 STRUT FRAME DETAIL
A-2 SCALE 1" = 1'-0"



3 STRUT FRAME DETAIL
A-2 SCALE 1" = 1'-0"

PREVIOUS DESIGN

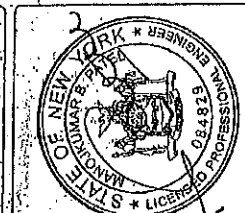


BLACK & VEATCH
BLACK & VEATCH ENGINEERING
200 FRED ROAD SUITE 200
PARADISE, NJ 07655

TECTONIC
TECTONIC ENGINEERING
200 FRED ROAD SUITE 200
PARADISE, NJ 07655

PROJECT NO.
DRAWN BY
CHECKED BY
DATE

NO.	DATE	DESCRIPTION
1		ISSUED FOR PERMITS
2		ISSUED FOR PERMITS
3		ISSUED FOR PERMITS
4		ISSUED FOR PERMITS
5		ISSUED FOR PERMITS
6		ISSUED FOR PERMITS
7		ISSUED FOR PERMITS
8		ISSUED FOR PERMITS
9		ISSUED FOR PERMITS
10		ISSUED FOR PERMITS



THIS PROJECT IS THE PROPERTY OF TECTONIC ENGINEERING. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS PROJECT WITHOUT THE WRITTEN PERMISSION OF TECTONIC ENGINEERING IS STRICTLY PROHIBITED.

SITE NAME: WARWICK CENTRAL
SITE # NY00000003
ADDRESS: 15 MARLE AVENUE
WARWICK, NY 10990
LIE

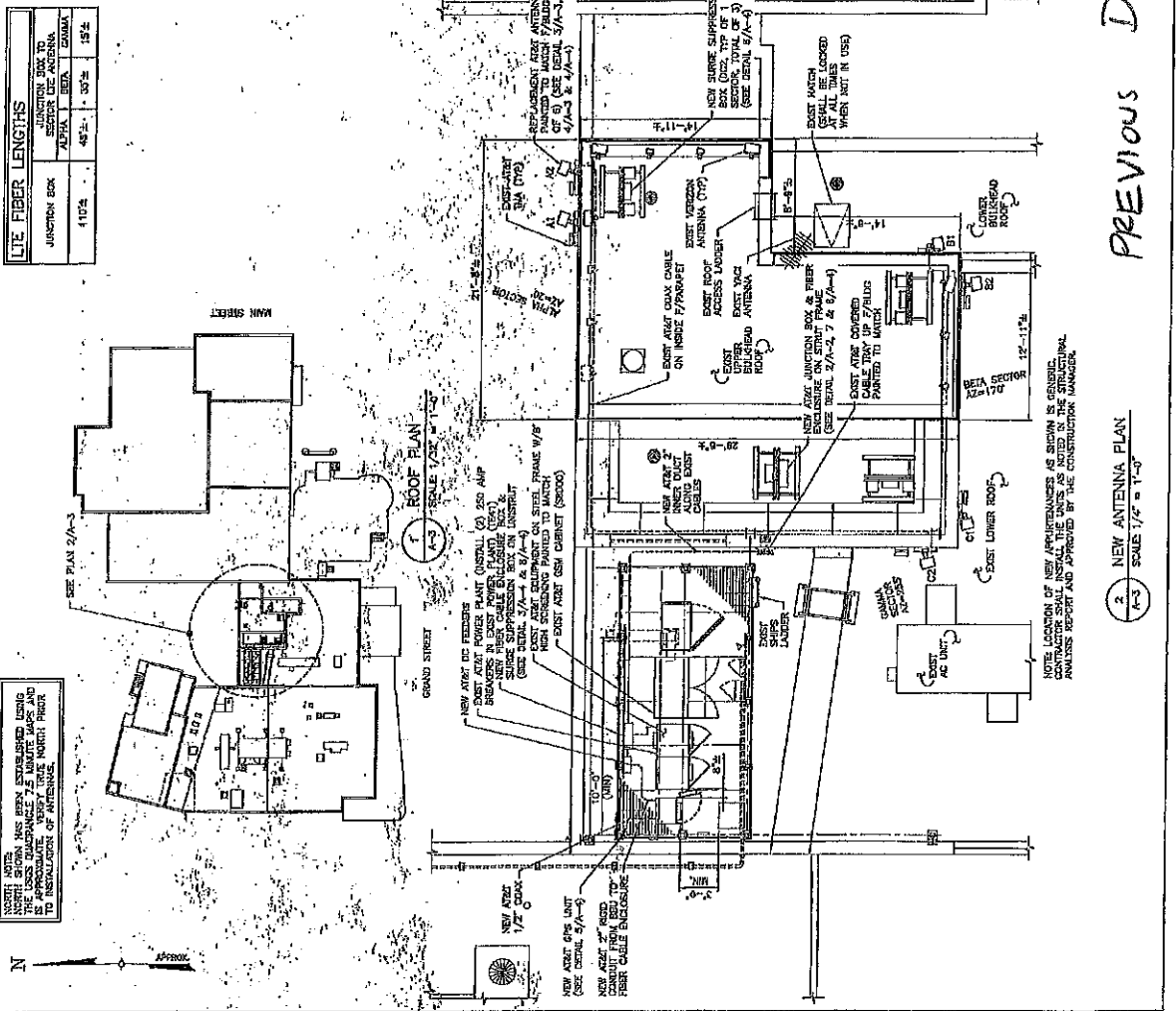
SHEET TITLE
ELEVATION & DETAILS

SHEET NUMBER
A-2

[illegible]

ANTENNA AND TRANSMISSION CABLES REQUIREMENT						
SERIAL NO.	ANTENNA TYPE	TECHNOLOGY	ANTENNA LENGTH	CABLE LENGTH	TRANSMISSION CABLE TYPE	
A1	CONTROL CABLES-2	CON/ITE	20'	REPLACE	3 1/2" 1/4" COAX	
A2	CONTROL CABLES-2	UNIT	20'	REPLACE	1 1/2" FIBER	
B1	CONTROL CABLES-2	CON/ITE	110'	REPLACE	3 1/2" 1/4" COAX	
B2	CONTROL CABLES-2	UNIT	110'	REPLACE	1 1/2" FIBER	
C1	CONTROL CABLES-2	CON/ITE	200'	REPLACE	3 1/2" 1/4" COAX	
C2	CONTROL CABLES-2	UNIT	200'	REPLACE	1 1/2" FIBER	
D1				NEW	1 20' 1/2" COAX	

NOTE: FIBER LINES ARE PROPOSED TO BE INSTALLED ON THE NEW 10' RAIL SUSPENSION FROM DRILLING AND INSTALLATION OF NEW RAIL.





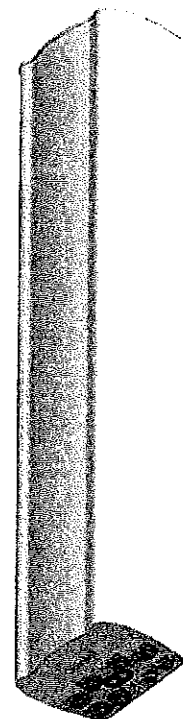
- Provides 8 antenna Ports in a slim-line form factor
- Optimized Azimuth patterns for Min Inter-Sector Interference
- Industry leading Minimal Wind-Load design

- 700, 850, PCS, AWS & WCS bands in one antenna
- AISG & 3GPP compliant internal remote electrical tilt (RET)

The Quintel MultiServ™ Multiband 8 Port Antenna with patented QTilt™ technology uniquely delivers four independent services in a single slim-line antenna. This enables existing antenna network sites to be upgraded constraint free to add new services such as LTE for 700, 850, PCS, AWS and WCS bands with the replacement of one antenna. The QS6658-3 also provides 4x 1710-2400MHz ports as two side-by-side (CLA-2X) arrays, each array having independent tilt to support independent service, or for connection to 2T4R/4T4R service.

Electrical Characteristics	2x Ports 1&2	2x Ports 3&4	2x Ports 5&6 2x Ports 7&8			
Operating Frequency (MHz)	698-787	824-894	1710-2400			
	698-787	824-894	1710-1780	1850-1990	2110-2180	2300-2400
Azimuth beamwidth ¹	69°	63°	70°	70°	62°	58°
Elevation beamwidth ¹	12°	10°	6.2°	5.9°	5.2°	4.7°
Gain ¹ (dBi)	13.5	14.0	17.0	17.0	17.5	18.0
Polarization	±45°	±45°	±45°			
Electrical down-tilt range	2°-10°	2°-10°	2°-10°			
Upper SLL (20° > mainbeam) ¹	-16dB	-16dB	-16dB	-16dB	-17dB	-15dB
Front to Back Ratio (180° ± 10°) ¹	≥30dB	≥30dB	≥30dB	≥30dB	≥30dB	≥30dB
Port to Port Isolation ¹	≥30dB	≥28dB	≥30dB	≥30dB	≥30dB	≥30dB
Return loss (VSWR)	14dB(1.5)	14dB(1.5)	14dB(1.5)	14dB(1.5)	14dB(1.5)	14dB(1.5)
Squint ¹	<±3°	<±2°	<±3°	<±3°	<±3°	<±3°
Tracking ¹	<±2dB	<±2.5dB	<±3dB	<±3dB	<±3dB	<±3dB
X Polar Discrimination (at 0°)	>20dB	>20dB	>19dB	>18dB	>16dB	>17dB
Power handling (per port)	500 watts	500 watts	250 watts			
PIM (3 rd Order) (2x43dBm)	>153dBc	>153dBc	>153dBc			

¹ Typical Performance across frequency and DownTilt.



Mechanical Characteristics	
Dimensions	L 72" (1828mm) x W 12" (304mm) x D 9.6" (245mm)
Weight (excl mounting brackets)	77lbs (35kg)
No. of Connectors	8x 7/16 DIN Female Long Neck
Max Wind Speed	150mph (67m/s)
Equivalent Flat Plate Area	2.98ft ² (0.275m ²)
Wind Load @160km/h (45m/s)	Front: 587N (132 lbs), Side: 382N (86 lbs)
Operating Temperature	-40°C to +65°C

Fully Integrated RET Characteristics	
AISG Standards	V1.1, V2.0 and 3GPP
Factory Default	AISG 2.0
Surge immunity	IEC 61000-4-6:2005 4KV(AISG PIN)
Device Type	SRET Type 1
AISG Data rate	9.6 kbps
No. of connectors	1in, 1out
Connector type	IEC 60130-9 (Ed 3.0)
MTBF	36,000 Operational moves

All specifications are subject to change without notice. Please contact your Quintel representative for complete information.

